Community Services Department Planning and Building DETATCHED ACCESSORY DWELLING ADMINISTRATIVE REVIEW APPLICATION



Community Services Department Planning and Building 1001 E. Ninth St., Bldg. A Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information	S	Staff Assigned Case No.:			
Project Name: 5152 W	linding Rid	ae De			
Project NEW CONSTRUCTION, Single FAMILY HOUSE WITH Description: DETACHED GUEST HOUSE.					
Project Address: 5152 W	Inding Ride	E DR. RENO, NV 89	511		
Project Area (acres or square fee			524		
Project Location (with point of re ARROW CREEK CO HIGHWAY 431. MAI	mmunity.	OF Highway	80, No 27h of		
Assessor's Parcel No.(s):	Parcel Acreage:		Parcel Acreage:		
152-911-01	1.07				
134 11. 41					
Case No.(s). N/A		s associated with this applicat			
Applicant Inf	ormation (attach	additional sheets if necess	ary)		
Property Owner:		Professional Consultant:			
Name: PERER RUSIN		Name:			
Address: 213 Holly On	K CT	Address:			
Revo, NV	Zip: 89521		Zip:		
Phone: 480 205 8621		Phone:	Fax:		
Email: PRUSINTROME	com	Email:			
Cell:	Other:	Cell:	Other:		
Contact Person:		Contact Person:			
Applicant/Developer:		Other Persons to be Contacted:			
Name:		Name:			
Address:		Address:			
	Zip:		Zip:		
Phone:	Fax:	Phone:	Fax:		
Email:		Email:			
Cell:	Other:	Cell:	Other:		
Contact Person:		Contact Person:			
	For Office	e Use Only			
Date Received:	Initial:	Planning Area:			
County Commission District:		Master Plan Designation(s):			
CAB(s):		Regulatory Zoning(s):			

Administrative Review Permit Application for a Detached Accessory Dwelling **Supplemental Information**

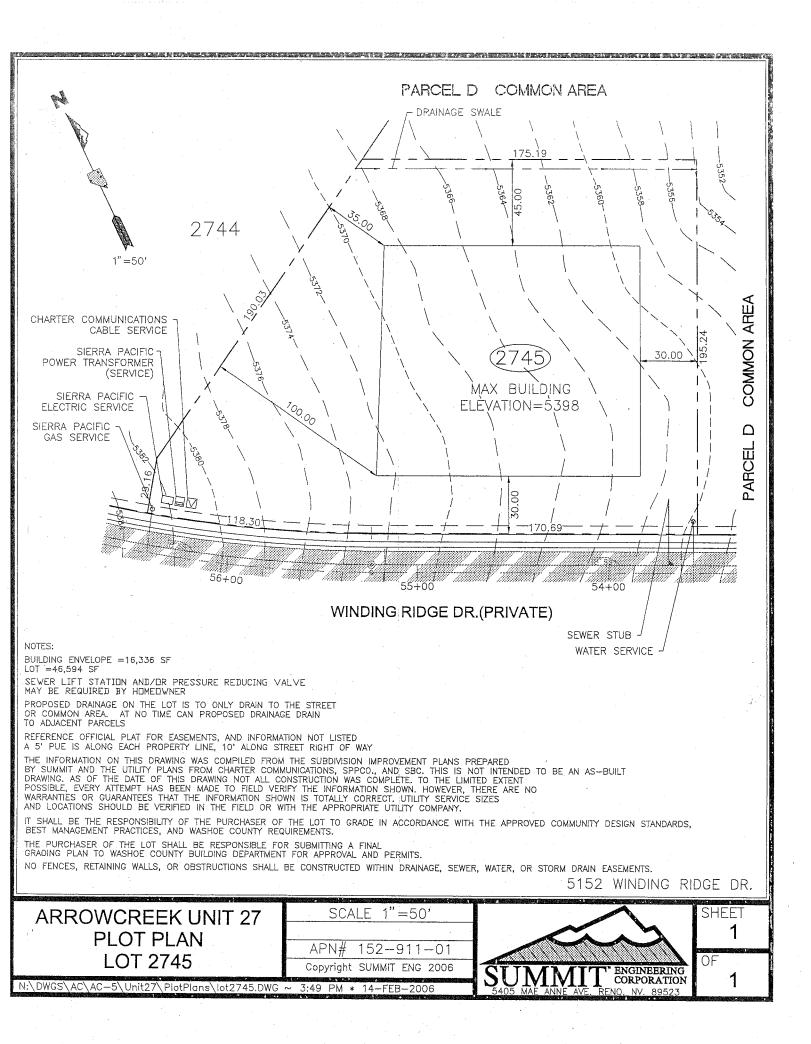
(All required information may be separately attached)

1	What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of
	garage)?
	2,582 SQFT
2.	What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.
	500 SQFT
3.	How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?
	No, THEY ARE PETACHED
5.	How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?
	3 PARKING SPOTS. SEE SITE PLAN.
6.	What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?
	SITE IS ALREADY LEVEL & GRADE. WE HAVE NO neighbors behind use
7.	Is the subject property part of an active Home Owners Association (HOA) or Architectural Contro Committee?
	Yes Do If yes, please list the HOA name. ARROW CREEK
8.	Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?
	☐ Yes No If yes, please attach a copy.
9.	Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?
	☐ Yes No If yes, please provide information on the secondary unit.

1

10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	MUNICIPAL - RENO	MUNICIPAL - RENO
Electrical Service	NV ENERGY	NV ENERGY
Solid Waste Disposal Service	WASTE MAT	WASRE MAT
Water Service	TMWA	TMWA



JPG DESIGN GROUP, LLC 213 HOLLY OAK CT. RENO, NV 89521 C: 4802058621

5152 WINDING RIDGE RESIDENTIAL PROJECT

SINGLE FAMILY :	2,582 SQFT
GARAGE:	440 SQFT
DETACHED GUEST HOUSE + GARA	GE: 907 SQFT
TOTAL BUILDING AREA:	3,929 SQFT
PATIOS	1,557 SQFT
DRIVEWAY	2,262 SQFT
TOTAL ON-SITE IMPERV. CVG.	7,748 SQFT
TOTAL LOT AREA:	46,609 SQFT (1.07 ACRES)
TOTAL LOT COVERAGE:	16.6%
PARCEL NUMBER:	152-911-01
LAND ZONING:	LDR - LOW DENSITY RURAL
SUBDIVISION:	ARROWCREEK
TYPE:	SINGLE-FAMILY
ADDRESS:	5152 WINDING RIDGE DR. RENO, NV 89511
OWNERS:	PETER AND ALIDA RUSIN
OWNER CONTACT:	PRUSINJR@ME.COM
	ORY, NEW CONSTRUCTION HOME. 5 R GARAGE WITH A DETACHED GUEST HOUSI

TYPE V

YES

YES

YES

CONSTRUCTION TYPE:

FIRE SPRINKLERS:

SMOKE DETECTORS:

CARBON MON. DETECTORS:

A000 - COVER SHEET C100 - SITE PLAN / TOPOGRAPHY PLAN A101 - FLOOR PLAN A102 - ROOF PLAN A200 - EXTERIOR ELEVATIONS A300 - SECTIONS A400 - ENLARGED BATH PLANS A401 - ENLARGED OFFICE / PANTRY PLANS A402 - ENLARGED KTC. AND LIV. PLANS A403 - ENLARGED GUEST HOUSE PLAN A404 - M.E.P. PLAN A500 - DETAILS A600 - SCHEDULES L100 - LANDSCAPING PLAN S-1 - FOUNDATION / FLOOR FRAMING PLANS S-2 - SHEARWALL PLANS S-3 - ROOF FRAMING PLANS SD-1 - STRUCTURAL NOTES & SCHEDULES SD-2 - STRUCTURAL DETAILS SD-3 - STRUCTURAL DETAILS STRUCTURAL CALC PACKAGE STRUCTURAL TRUSS PACKAGE STRUCTURAL TRUSS VERIFICATION PACKAGE EXISTING CONDITIONS TOPOGRAPHIC & SITE PLAN SURVEY

SHEET / DOCUMENTS LIST

PETER AND ALIDA RUSIN EMAIL: PRUSINJR@ME.COM ARCHITECT: JPG DESIGN GROUP CELL: 480-205-8621 STRUCT. ENG. K2 ENGINEERING CIVIL ENG. EMAIL: JARED@K2ENG.NET CIVIL SURVEY POINTS WEST SURVEY EMAIL: RADAMBOROSKI@YAHOO.COM

CONTRACTOR SHALL VERIFY ALL PERTINENT DIMENSIONS, GRADES, AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DESCREPANCIES BETWEEN THESE DRAWINGS AND THE ACTUAL ONSITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SAFETY. CONSTRUCTION DEBRIS HALL BE LEGALLY REMOVED FROM THE JOB SITE ON A CONTINUING BASIS. ALL CHANGE ORDERS ARE TO BE SUBMITTED IN WRITING AND AGREED UPON WITH THE OWNER PRIOR TO DOING THE WORK. CONTRACTOR SHALL NOTIFY THE OWNER OF ANY WORK BEING REQUESTED BY ANY PROJECT PARTY OR NEEDED THAT IS NOT IN THE ORIGINAL CONTRACT AMOUNT PRIOR TO DOING THE WORK. EXCESS CONSTRUCTION MATERIAL IS THE PROPERTY OF THE OWNER UNLESS OTHERWISE NOTED IN THE OWNER/ CONTRACTOR G. ANY TESTING DUE TO A CONSTRUCTION DEFECT OR MISTAKE SHALL BE AT THE EXPENSE OF THE CONCTRACTOR. CONTRACTOR IS RESPONSIBLE FOR A "DEEP CLEAN" OF THE PROJECT BEFORE FINAL CLOSEOUT. CEILING EXHAUST FAN. CAPACITY 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS. DIRECTLY EXHAUSTED THROUGH ROOF. FLASH WATER CLOSET MUST BE LOW-FLOW WITH MAX. 1.28 GAL. PER FLUSH. TOILET BASE MUST BE CAULKED TO FINISH FLOOR. TOILET CLEARANCE MUST BE AT LEAST 30" WIDE FROM CENTER TO ADJACENT SIDES AND MIN. 24" CLEAR IN FRONT OF WATER CLOSET. UNLESS NOTED IN THE TABLE BELOW, ALL MATERIALS REQUIRED TO COMPLETE THE PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR TO FURNISH AND INSTALL. **SCOPE** <u>RESPONSIBILITY</u> TILE AND GROUT O.F.C.I. APPLIANCES KITCHEN CABINETS O.F.C.I. O.F.C.I. BATHROOM VANITIES

O.F.C.I. O.F.C.I.

O.F.C.I.

O.F.C.I.

Huffaker Park (671) PROPERTY LOCATION 5152 WINDING RIDGE DR. 395 NORTH VICINITY MAP

NOT TO SCALE.

GENERAL NOTES

WASHROOM AND PANTRY CABINETS

O.F.C.I. - OWNER FURNISHED CONTRACTOR INSTALLED

PLUMBING FIXTURES

UNDERMOUNT SINKS

FIREPLACE INSERT

Revision A - DRC Comments 3/29/23 4/28/23 Revision B - DRC Comments Revision C - DRC Comments 6/02/23

Description

No.

Date

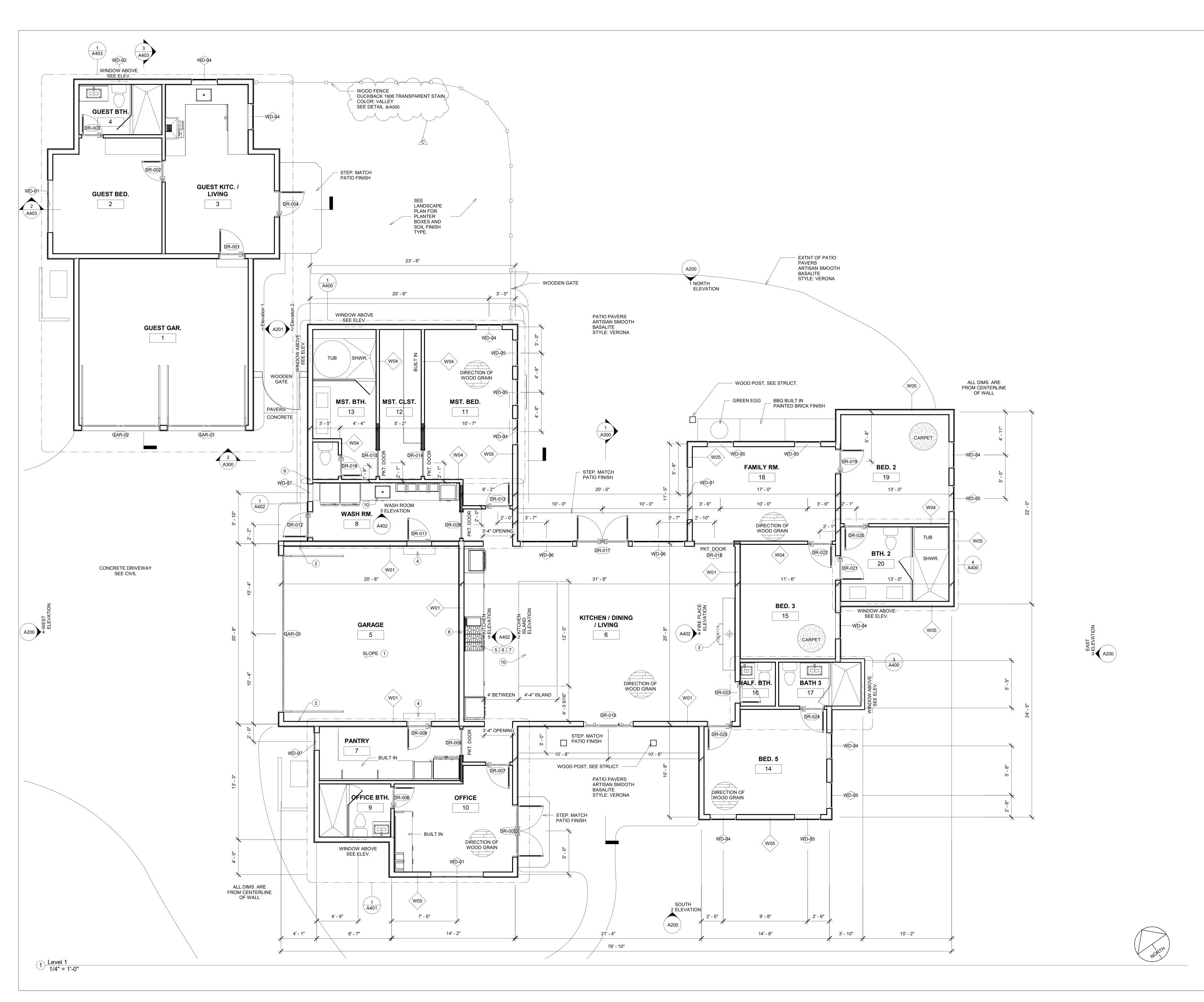
RUSIN FAMILY 5152 WINDING RIDGE DR **COVER SHEET**

Project Number Designed By

20211001 010/01/2021 Scale

PROPERTY INFORMATION

PROJECT CONTACT INFO



JPG DESIGN GROUP, LLC

213 HOLLY OAK CT. RENO, NV 89521 C: 4802058621

GENERAL NOTES

- ALL EXTERIOR WALLS TO BE INSULATED. CLOSED CELL SPRAY FOAM.
- B ALL INSULATION IN FLOOR JOIST TO BE CLOSED CELL SPRAY
- C WEATHER BARRIER HOUSE WRAP ON EXTERIOR SIDE OF SHEATHING IN ALL LOCATIONS.

KEYED NOTES

- SLOPE GARAGE FLOOR DEDICATED 240V, NEMA 14-50 50AMP CIRCUIT RECEPTACLE. MOUNTED 3'-0" A.F.F.
- FIREPLACE. SEE ELEVATION AND DETAILS.
- 4 CONCRETE STEP.
- 5 NATURAL GAS COOK RANGE.
 6 RANGE HOOD ABOVE. SEE ELEVATION.
 7 PLUMBING POT FILLER. FIXTURE O.F.C.I.
- 8 DIRECT VENT RANGE HOOD TO EXTERIOR.
 9 DIRECT VENT DRYFR EXHAUST TO EXTERIOR.
- 9 DIRECT VENT DRYER EXHAUST TO EXTERIOR.10 SINK WITH FOOD DISPOSAL.

Revision A - DRC Comments	3/29/23
Revision B - DRC Comments	4/28/23
Revision C - DRC Comments	6/02/23

Description

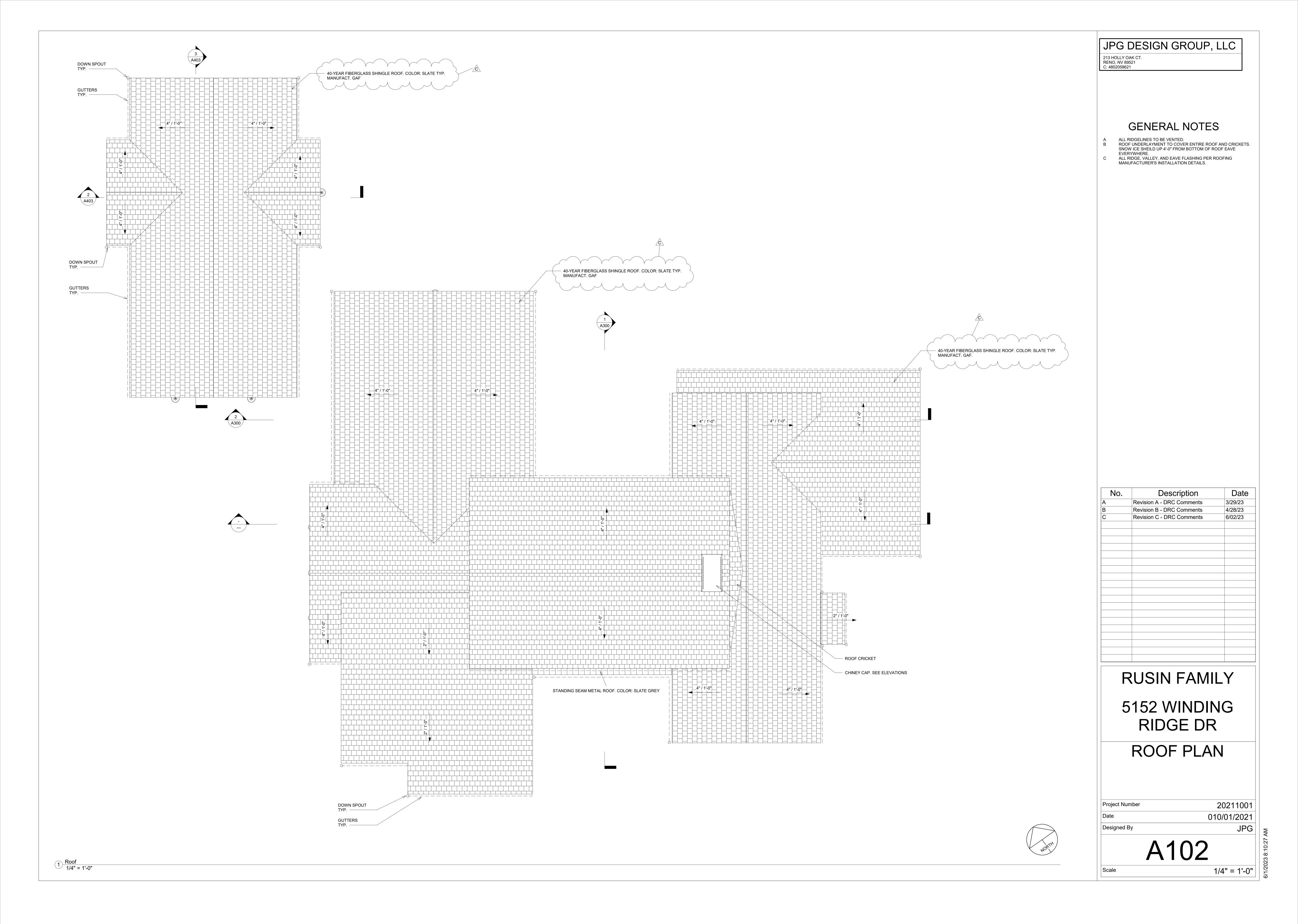
Date

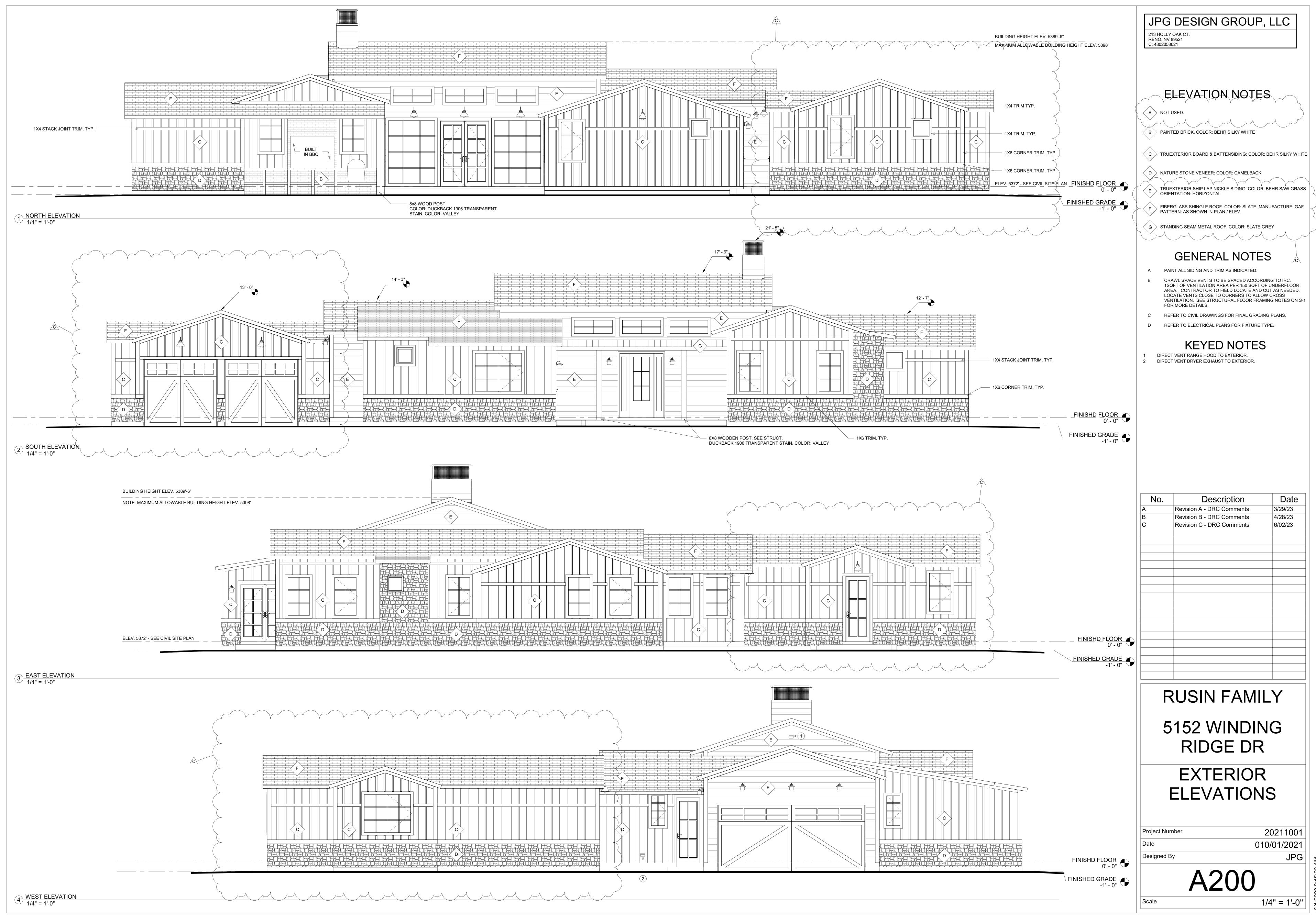
RUSIN FAMILY
5152 WINDING
RIDGE DR
FLOOR PLAN

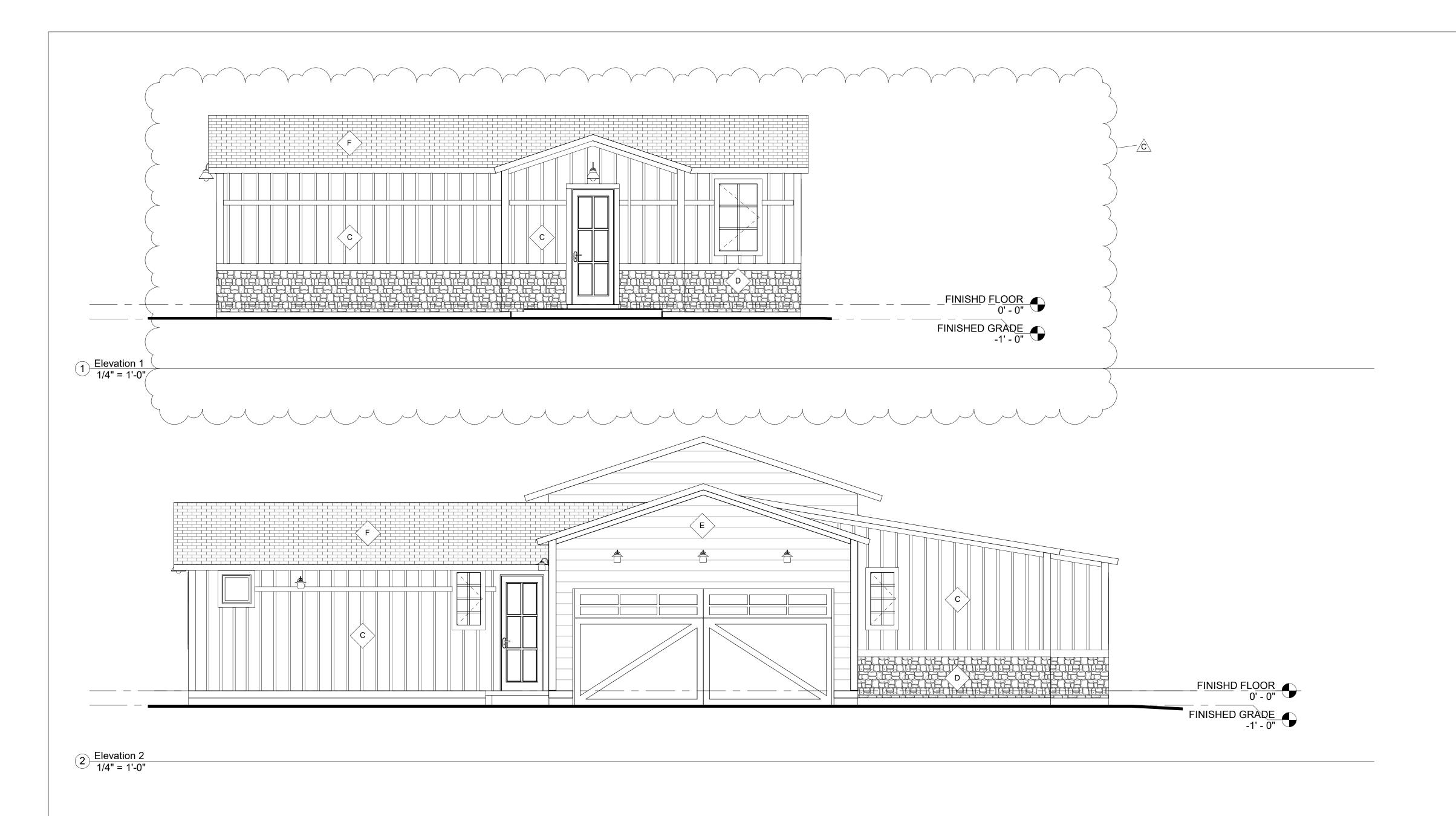
Project Number	2021100
Date	010/01/202

A101

1/4" = 1'-







JPG DESIGN GROUP, LLC

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ELEVATION NOTES

NOT USED.

B PAINTED BRICK. COLOR: BEHR SILKY WHITE

C TRUEXTERIOR BOARD & BATTENSIDING: COLOR: BEHR SILKY WHITE

D NATURE STONE VENEER: COLOR: CAMELBACK

TRUEXTERIOR SHIP LAP NICKLE SIDING: COLOR: BEHR SAW GRASS ORIENTATION: HORIZONTAL

F FIBERGLASS SHINGLE ROOF. COLOR: SLATE. MANUFACTURE: GAF PATTERN: AS SHOWN IN PLAN / ELEV.

G STANDING SEAM METAL ROOF. COLOR: SLATE GREY

GENERAL NOTES

- PAINT ALL SIDING AND TRIM AS INDICATED.
- B CRAWL SPACE VENTS TO BE SPACED ACCORDING TO IRC.
 1SQFT OF VENTILATION AREA PER 150 SQFT OF UNDERFLOOR
 AREA. CONTRACTOR TO FIELD LOCATE AND CUT AS NEEDED.
 LOCATE VENTS CLOSE TO CORNERS TO ALLOW CROSS
 VENTILATION. SEE STRUCTURAL FLOOR FRAMING NOTES ON S-1
 FOR MORE DETAILS.
- C REFER TO CIVIL DRAWINGS FOR FINAL GRADING PLANS.
- D REFER TO ELECTRICAL PLANS FOR FIXTURE TYPE.

No.	Description	Date
Α	Revision A - DRC Comments	3/29/23
В	Revision B - DRC Comments	4/28/23
С	Revision C - DRC Comments	6/02/23

RUSIN FAMILY

5152 WINDING RIDGE DR

COURTYARD ELEVATIONS

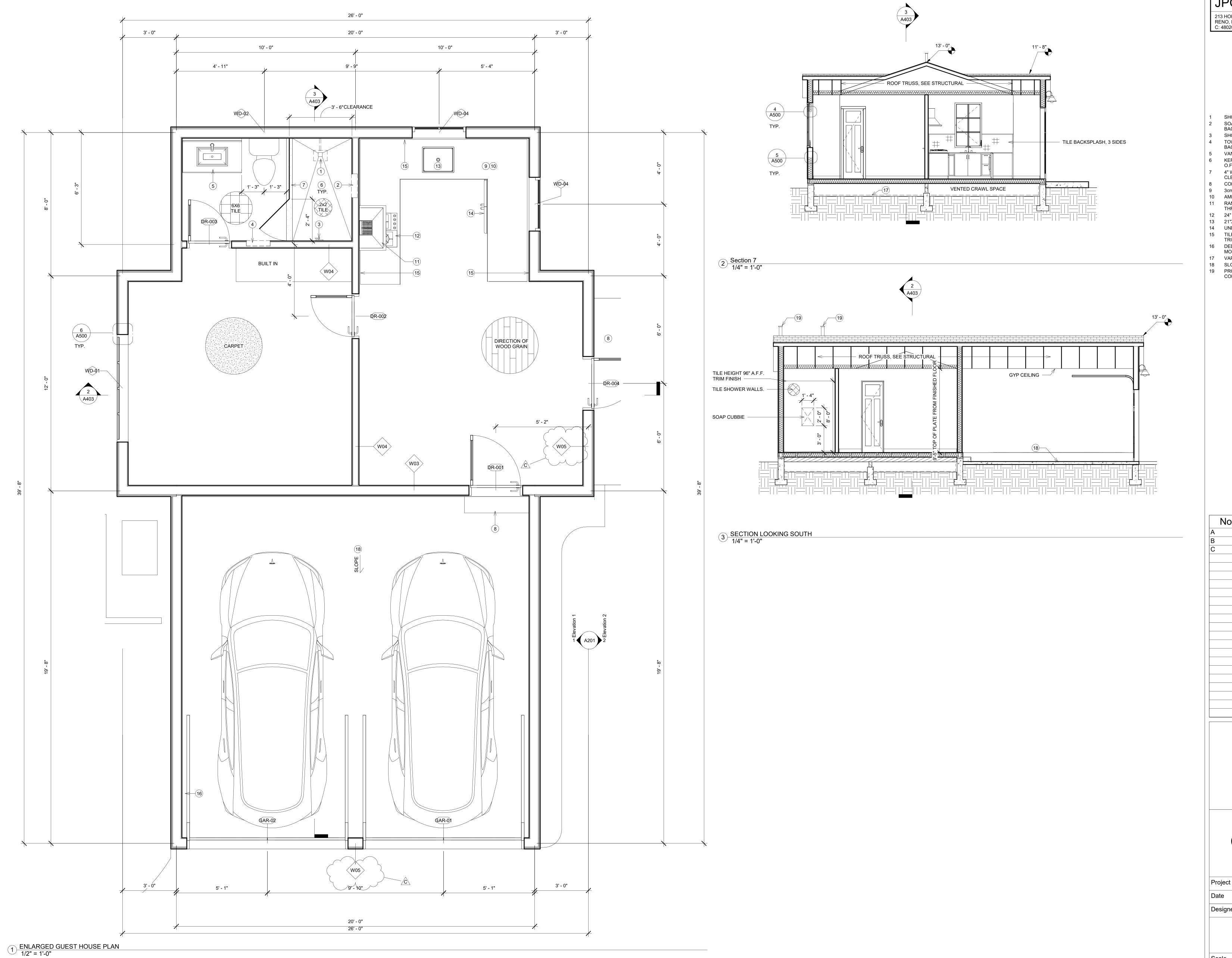
Project Number 20211001

Date 010/01/2021

Designed By

1

1/4" = 1'-0



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213 HOLLY OAK CT. RENO, NV 89521 C: 4802058621

KEYED NOTES

- SHOWER HEAD, FIXTURE O.F.C.I.
 SOAP CUBBIE. FRAME BETWEEN STUDS, 2'-0" TALL. TILE
 BACKSPLASH AND TILE TRIM O.F.C.I.
 SHOWER HANDLE LOCATION, FIXTURE O.F.C.I. TOWEL CUBBIE. FRAME BETWEEN STUDS, 3'-0" TALL. TILE BACKSPLASH AND TILE TRIM O.F.C.I.
- VANITY AND MIRRORS, O.F.C.I. KERDI WATERPROOF WRAP SYSTEM. TILE SHOWER WALLS. TILE
- 7 4" WIDE SHOWER CURB. FRAMELESS SHOWER ENCLSOURE. 3/8" CLEAR GLASS @ 78" HEIGHT.
- 8 CONCRETE STEP.
- 9 3cm QUARTZ COUNTERTOP.
- AMERICAN WOODMARK CABINETS. STYLE: HANOVER. FINISH: RYE RANGE HOOD. 30" ZLINE. COLOR: BLACK. O.F.C.I. DIRECT VENT THROUGH ROOF.
- 12 24" GAS COOKTOP. MAGIC CHEF MODEL #: MCSCTG24S. O.F.C.I. 13 21"X17" KRAUS-PINTURA UNDERMOUNT PROCELAIN SINK. O.F.C.I.
- 14 UNDERCOUNTER REFIGERATOR. O.F.C.I. 15 TILE BACKSPLASH, SEE ELEVATIONS. TILE BACKSPLASH AND TILE
- 16 DEDICATED 240V, NEMA 14-50 50AMP CIRCUIT RECEPTACLE. MOUNTED 3'-0" A.F.F.
- 17 VAPOR BARRIER
- 18 SLOPE GARAGE FLOOR
 19 PROVIDE WEATHER CAP AND FLASH VENTS. PAINT TO MATCH ROOF COLOR.

Revision B - DRC Comments 4/28/23 Revision C - DRC Comments

Description

Revision A - DRC Comments

Date

RUSIN FAMILY

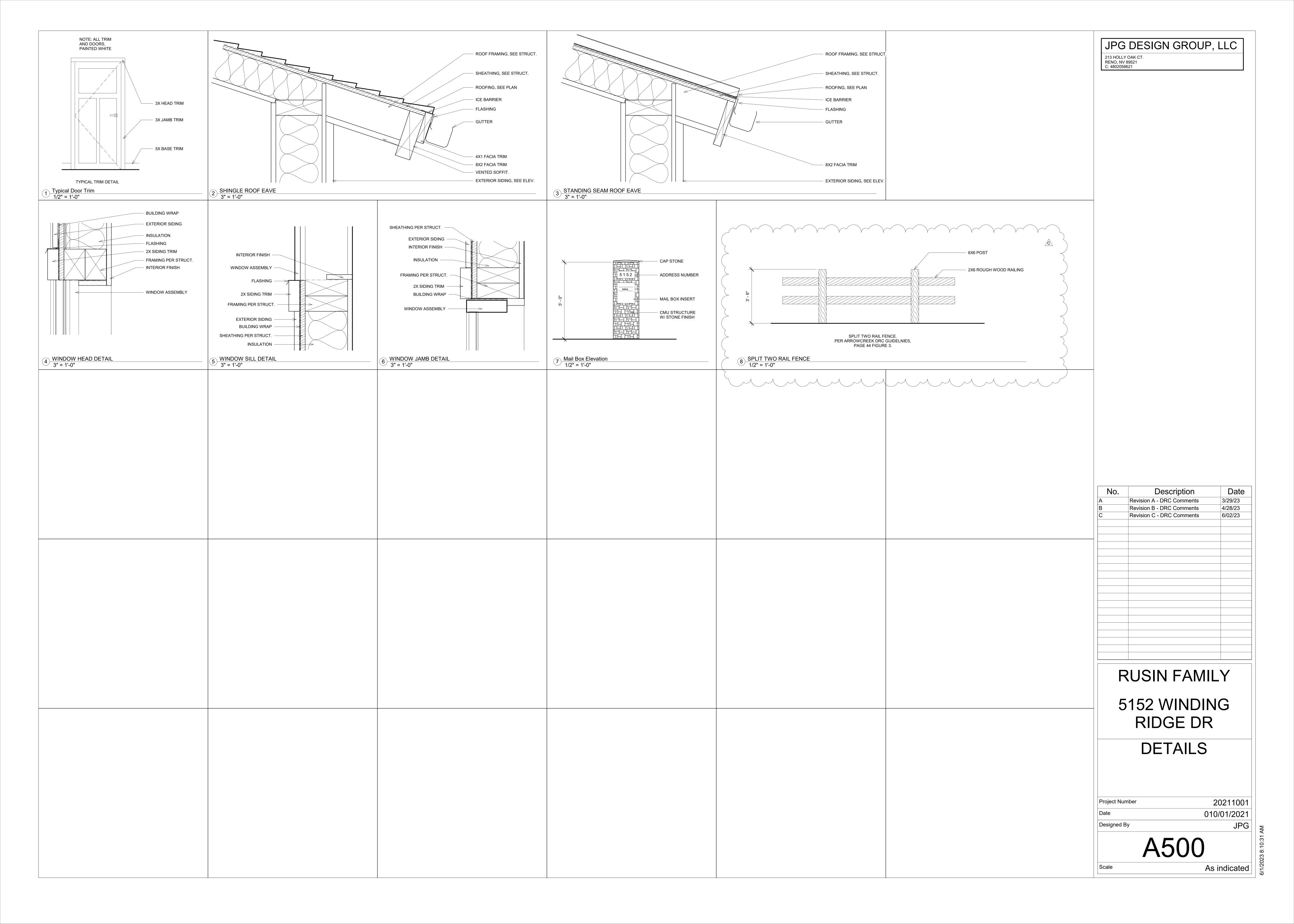
5152 WINDING RIDGE DR

ENLARGED GUEST HOUSE PLAN

20211001 Project Number 010/01/2021 P. RUSIN Designed By

Scale

As indicated



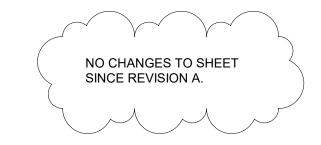
			Room Schedule		
Room Name	Room Number	Floor Finish	Wall Finish	Base Finish	Ceiling Finish
GUEST GAR.	1	CONCRETE	PAINTED: COLOR IRISH MIST	NONE	PAINTED: COLOR IRISH MIST
GUEST BED.	2	BROADLOOM CARPET	PAINTED: COLOR IRISH MIST	1X5 TRIM: PAINTED COLOR WHITE	PAINTED: COLOR IRISH MIST
GUEST KITC. / LIVING	3	ENGINEERED HARD WOOD	PAINTED: COLOR IRISH MIST	1X5 TRIM: PAINTED COLOR WHITE	PAINTED: COLOR IRISH MIST
GUEST BTH.	4	TILE	VARIES	1X5 TRIM: PAINTED COLOR WHITE	PAINTED: COLOR IRISH MIST
GARAGE	5	CONCRETE	PAINTED: COLOR IRISH MIST	NONE	PAINTED: COLOR IRISH MIST
KITCHEN / DINING / LIVING	6	ENGINEERED HARD WOOD	PAINTED: COLOR IRISH MIST	1X5 TRIM: PAINTED COLOR WHITE	PAINTED: COLOR IRISH MIST
PANTRY	7	TILE	PAINTED: COLOR IRISH MIST	1X5 TRIM: PAINTED COLOR WHITE	PAINTED: COLOR IRISH MIST
WASH RM.	8	TILE	PAINTED: COLOR IRISH MIST	1X5 TRIM: PAINTED COLOR WHITE	PAINTED: COLOR IRISH MIST
OFFICE BTH.	9	TILE	VARIES	1X5 TRIM: PAINTED COLOR WHITE	PAINTED: COLOR IRISH MIST
OFFICE	10	ENGINEERED HARD WOOD	PAINTED: COLOR WINTER WAY	1X5 TRIM: PAINTED COLOR WINTER WAY	PAINTED: COLOR IRISH MIST
MST. BED.	11	ENGINEERED HARD WOOD	PAINTED: COLOR IRISH MIST	1X5 TRIM: PAINTED COLOR WHITE	PAINTED: COLOR IRISH MIST
MST. CLST.	12	ENGINEERED HARD WOOD	PAINTED: COLOR IRISH MIST	1X5 TRIM: PAINTED COLOR WHITE	PAINTED: COLOR IRISH MIST
MST. BTH.	13	TILE	VARIES	1X5 TRIM: PAINTED COLOR WHITE	PAINTED: COLOR IRISH MIST
BED. 5	14	ENGINEERED HARD WOOD	PAINTED: COLOR IRISH MIST	1X5 TRIM: PAINTED COLOR WHITE	PAINTED: COLOR IRISH MIST
BED. 3	15	BROADLOOM CARPET	PAINTED: COLOR IRISH MIST	1X5 TRIM: PAINTED COLOR WHITE	PAINTED: COLOR IRISH MIST
HALF. BTH.	16	TILE	PAINTED: COLOR IRISH MIST	1X5 TRIM: PAINTED COLOR WHITE	PAINTED: COLOR IRISH MIST
BATH 3	17	TILE	VARIES	1X5 TRIM: PAINTED COLOR WHITE	PAINTED: COLOR IRISH MIST
FAMILY RM.	18	ENGINEERED HARD WOOD	PAINTED: COLOR IRISH MIST	1X5 TRIM: PAINTED COLOR WHITE	PAINTED: COLOR IRISH MIST
BED. 2	19	BROADLOOM CARPET	PAINTED: COLOR IRISH MIST	1X5 TRIM: PAINTED COLOR WHITE	PAINTED: COLOR IRISH MIST
BTH. 2	20	TILE	VARIES	1X5 TRIM: PAINTED COLOR WHITE	PAINTED: COLOR IRISH MIST

	Door Schedule			
Mark	Mark Width Height		Height Comments	
DR-001	3' - 0"	8' - 0"	SELF CLOSER, WEATHER GASKET, MODA, PMP1033, PAINTED WHITE	
DR-002	2' - 6"	8' - 0"	MODA, PMP1033, PAINTED WHITE	
DR-003	2' - 6"	8' - 0"	MODA, PMP1033, PAINTED WHITE	
DR-004	3' - 0"	8' - 0"	MILGARD ULTRA SERIES C650, GRIDS CRAFTSMAN, FRAME COLOR BLACK BEAN, DOOR HARDWARE BLACK, MERIDIAN HANDLE	
DR-005	6' - 0"	7' - 0"	MILGARD ULTRA SERIES C650, GRIDS CRAFTSMAN, FRAME COLOR BLACK BEAN, DOOR HARDWARE BLACK, MERIDIAN HANDLE	
DR-006	2' - 6"	8' - 0"	MODA, PMP1033, PAINTED WHITE	
DR-007	2' - 10"	8' - 0"	MODA, PMP1033, PAINTED WHITE	
DR-008	3' - 0"	8' - 0"	ALMES, POCKET DOOR, PAINTED WHITE	
DR-009	2' - 10"	8' - 0"	SELF CLOSER, WEATHER GASKET, MODA, PMP1033, PAINTED WHITE	
DR-010	5' - 8 5/32"	8' - 0"	STEVENS, LEGACY COLLECTIONS, PAINTED BLACK	
DR-011	2' - 10"	8' - 0"	SELF CLOSER, WEATHER GASKET, MODA, PMP1033, PAINTED WHITE	
DR-012	3' - 0"	8' - 0"	MILGARD ULTRA SERIES C650, GRIDS CRAFTSMAN, FRAME COLOR BLACK BEAN, DOOR HARDWARE BLACK, MERIDIAN HANDLE	
DR-013	2' - 10"	8' - 0"	MODA, PMP1033, PAINTED WHITE	
DR-014	3' - 0"	8' - 0"	ALMES, POCKET DOOR, PAINTED WHITE	
DR-015	3' - 0"	8' - 0"	ALMES, POCKET DOOR, PAINTED WHITE	
DR-016	2' - 6"	8' - 0"	MODA, PMP1033, PAINTED WHITE	
DR-017	6' - 0"	8' - 0"	MILGARD ULTRA SERIES C650, GRIDS CRAFTSMAN, FRAME COLOR BLACK BEAN, DOOR HARDWARE BLACK, MERIDIAN HANDLE	
DR-018	4' - 6"	8' - 0"	ALMES, POCKET DOOR, PAINTED WHITE	
DR-019	2' - 10"	8' - 0"	MODA, PMP1033, PAINTED WHITE	
DR-020	2' - 10"	8' - 0"	MODA, PMP1033, PAINTED WHITE	
DR-021	2' - 10"	8' - 0"	MODA, PMP1033, PAINTED WHITE	
DR-022	2' - 10"	8' - 0"	MODA, PMP1033, PAINTED WHITE	
DR-023	2' - 6"	8' - 0"	MODA, PMP1033, PAINTED WHITE	
DR-024	2' - 10"	8' - 0"	MODA, PMP1033, PAINTED WHITE	
DR-025	2' - 10"	8' - 0"	MODA, PMP1033, PAINTED WHITE	
DR-026	3' - 0"	8' - 0"	ALMES, POCKET DOOR, PAINTED WHITE	
GAR-01	9' - 0"	8' - 0 5/16"	CLOPAY COACHMAN COLLECTION, SQ23, PAINT TO MATCH EXTERIOR, CLEAR WINDOW	
GAR-02	9' - 0"	8' - 0 5/16"	CLOPAY COACHMAN COLLECTION, SQ23, PAINT TO MATCH EXTERIOR, CLEAR WINDOW	
GAR-03	18' - 0"	8' - 0 5/16"	CLOPAY COACHMAN COLLECTION, SQ23, PAINT TO MATCH EXTERIOR, CLEAR WINDOW	

T 14 :	147: 101	11	NA 6 /		ndow Schedule	0 "
Type Mark	Width	Height	Manufacturer	Model	Comments	Operation
WD-01	6' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Casement
WD-01	6' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Casement
WD-01	6' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Casement
WD-02	2' - 0"	2' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-02	2' - 0"	2' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-02	2' - 0"	2' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-02	2' - 0"	2' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-02	2' - 0"	2' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-02	2' - 0"	2' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-04	3' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Casement
WD-04	3' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Casement
WD-04	3' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Casement
WD-04	3' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Casement
WD-04	3' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Casement
WD-04	3' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Casement
WD-04	3' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Casement
WD-04	3' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Casement
WD-05	3' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-05	3' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-05	3' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-05	3' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-05	3' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-05	3' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-05	3' - 0"	5' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-06	6' - 0"	8' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-06	6' - 0"	8' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-07	2' - 0"	4' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Casement
WD-07	2' - 0"	4' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Casement
WD-08	5' - 0"	2' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-08	5' - 0"	2' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-08	5' - 0"	2' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-08	5' - 0"	2' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-08	5' - 0"	2' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture
WD-08	5' - 0"	2' - 0"	© 2017 Milgard Manufacturing, Inc.	Ultra™ Series	C650, FRAME COLOR BLACK BEAN, GRIDS CRAFTSMAN, HARDWARE BLACK	Picture

JPG DESIGN GROUP, LLC

213 HOLLY OAK CT.
RENO, NV 89521
C: 4802058621



No.	Description	Date
4	Revision A - DRC Comments	3/29/23
3 C	Revision B - DRC Comments	4/28/23
)	Revision C - DRC Comments	6/02/23
		I V

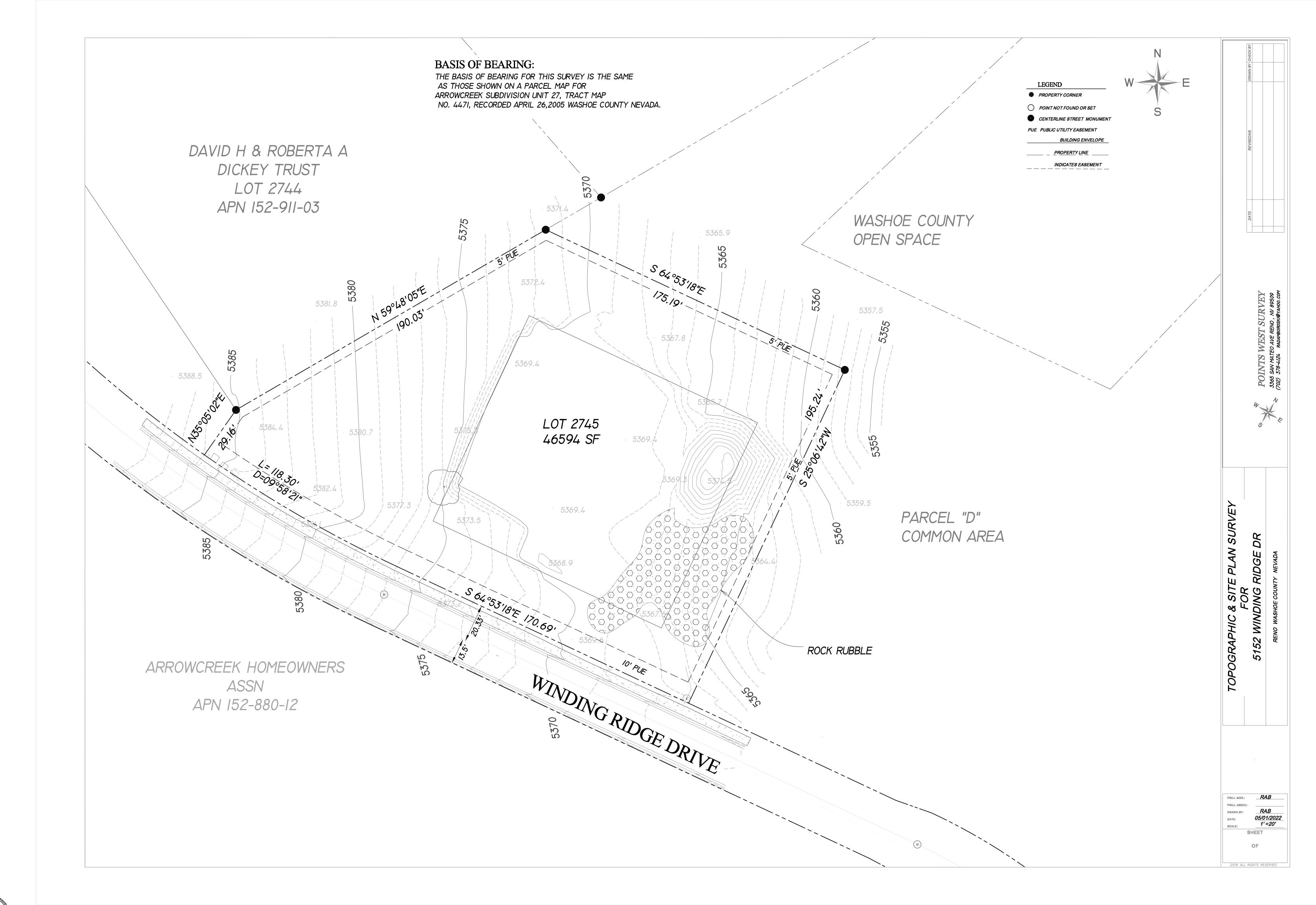
RUSIN FAMILY
5152 WINDING
RIDGE DR

SCHEDULES

Project Number	20211001
Date	010/01/2021
Designed By	JPG
	1600
Scale	1 1/2" = 1'-0"

			, SEE ELEVATION G COAT						
_1		SCRAT	CH COAT						
EXTERIOR SIDE	INTERIOR SIDE	EXTERIOR SIDE INTERIOR SIDE		INTERIOR SIDE	INTERIOR SIDE	INTERIOR SIDE	INTERIOR SIDE	EXTERIOR SIDE	INTERIOR SIDE
	EXTERIOR SIDING, SEE ELEVATIONS. WEATHER BARRIER, BUILDING WRAP PAPER.	METAL WEATH	LATH ER BARRIER, BUILDING WRAP PAPER.						EXTERIOR SIDING, SEE ELEVATIONS. WEATHER BARRIER, BUILDING WRAP PAPER.
ل	SHEATHING, SEE STRUCTURAL.		HING, SEE STRUCTURAL.						SHEATHING, SEE STRUCTURAL.
	CLOSED CELL SPRAY FOAM INSULATION, R-32	CLOSE	D CELL SPRAY FOAM INSULATION, R-32		CLOSED CELL SPRAY FOA	AM INSULATION, R-32			CLOSED CELL SPRAY FOAM INSULATION, R-32
	5/8" GYPSUM BOARD		PSUM BOARD		5/8" GYPSUM BOARD	CONTRACTURAL FOR CRACING	5/8" GYPSUM BOARD	NOTE: SEE ELEV. FOR STONE	5/8" GYPSUM BOARD
	2X6 WOOD FRAMING, SEE STRUCTURAL FOR SPACING 1X5 BASEBOAR TRIM		OOD FRAMING, SEE STRUCTURAL FOR SPACING SEBOAR TRIM		2X6 WOOD FRAMING, SEE 1X5 BASEBOAR TRIM	STRUCTURAL FUR SPACING	2X4 WOOD FRAMING, 16" O.C. 1X5 BASEBOAR TRIM	LOCATIONS	2X6 WOOD FRAMING, SEE STRUCTURAL FOR SPACIN 1X5 BASEBOAR TRIM
	TAS BASEBOAK TRIM		LBOAK TIXIW		TAJ BAJEBOAK TKIWI		TAS BASEBOAK TRIWI		TAS BASEBOAK TIKIWI

W01 W02 W05



GENERAL SITE NOTES

I. ALL WORK MUST CONFORM W/ LOCAL BUILDING CODES, CITY, COUNTY AND STATE ORDINANCES, SUBDIVISION REGULATIONS AND THE INTERNATIONAL BUILDING CODE, INTERNATIONAL RESIDENTIAL CODE, UNIFORM MECHANICAL CODE, UNIFORM PLUMBING CODE, INTERNATIONAL ENERGY CONSERVATION CODE (2018 EDITIONS) AND THE 2017 NATIONAL ELECTRICAL CODE.

 CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED GRADES, UTILITIES, AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.

3. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND COORDINATING ALL SERVICE REQUIREMENTS WITH THE APPROPRIATE PUBLIC AGENCY OR UTILITY PROVIDER. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.

4. PLACEMENT OF STRUCTURE WITHIN SETBACKS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NOTIFY OWNER OF ANY DISCREPANCIES.

5. CONC. FLATWORK TO BE FINISHED PER OWNERS

REQUIREMENTS.

- 6. SLOPE LAWN AREAS FOR DRAINAGE MIN. 1/4" PER 1'-0".
 7. MAINTAIN EXISTING DRAINAGE WITH 5% (2% MIN.) SLOPE AWAY FROM PROPOSED STRUCTURE FOR A MINIMUM OF 10' AND DRAINAGE SWALE 2'-6" MIN. IN FROM PROPERTY LINES AS REQUIRED TO PREVENT DRAINAGE ONTO ADJACENT PRIVATE PROPERTY. MINIMUM SLOPE OF DRAINAGE SWALE SHALL BE 1%.
- 8. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X WHICH IS DETERMINED TO BE OUTSIDE OF THE 100 YEAR FLOOD PLAIN, BOUNDARY OF THE 100-YEAR FLOOD PLAIN IS NOT WITHIN 100 FEET OF PROPERTY.

THIS SITE IS SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER.

- 10. THE DESIGN FOR THIS SITE HAS BEEN BASED ON THE BEST AVAILABLE INFORMATION. ALL ASSUMED EXISTING AND PROPOSED INFORMATION SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL PARTIES SHOULD ANTICIPATE THE POTENTIAL NEED FOR MODIFICATIONS TO THE INITIAL DESIGN IN ORDER TO ACCOMMODATE ACTUAL FIELD CONDITIONS. ALL DISCREPANCIES DISCOVERED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- II. SHOULD ANY PREHISTORIC OR HISTORIC
 REMAINS/ARTIFACTS BE DISCOVERED DURING SITE
 DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT
 THE SPECIFIC SITE AND THE STATE HISTORIC
 PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS,
 LIBRARY AND ARTS, SHALL BE NOTIFIED TO RECORD AND
 PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY
 DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO (2)
 WORKING DAYS FROM THE DATE OF NOTIFICATION.
- 12. THERE ARE NO WATERCOURSES WITHIN 100' OF PROPERTY.

 13. CONCRETE DRIVEWAY TO BE STAINED. COLOR TO MATCH PAVERS. CONCRETE JOINTS TO BE APPROX. 10' ON CENTER AND ALONG CENTERLINE OF DRIVEWAY. PLEASE

SEE PLAN FOR PLACEMENT.

48/SD3

SITE CONTOUR LEGEND						
(E) CONTOURS	5060					
(N) CONTOURS	5060					
WALL W/ 12" WID	HT DRYSTACK ROCKERY E COL. OF DRAIN ROCK RAIN TO DAYLIGHT PER					

EARTHWORK	ANALYSIS				
	T				
SITE AREA	46,594 S.F.				
SITE DISTURBANCE	27,500 S.F.				
PROPOSED CUT	72 YD ³				
PROPOSED FILL	40 YD3				
NET EARTHWORK	32 YD3 CUT / REMOVE				
I. THESE QUANTITIES ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR ANY OVER EXCAVATION, SHRINKAGE OR EXPANSION OF MATERIALS. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL					

HEIGHT / COVERAGE

CONSTRUCTION PURPOSES.

MAXIMUM ALLOWED BUILDING HT = 5398.0' A

PROPOSED BUILDING HEIGHT = 5389'-6"

DRIVEWAY COVERAGE = 2,250 S.F.

INVESTIGATION IF AVAILABLE AND PERFORM AN INDEPENDENT EARTHWORK ANALYSIS FOR

SITE AREA 46,594 S.F.
SITE DISTURBANCE 27,500 S.F.

BASIS OF BEARING:

THE BASIS OF BEARING FOR THIS SURVEY IS THE SAME AS THOSE SHOWN ON A PARCEL MAP FOR ARROWCREEK SUBDIVISION UNIT 27, TRACT MAP NO. 4471, RECORDED APRIL 26,2005 WASHOE COUNTY NEVADA.

SITE/ GRADING PLAN SCALE 1" = 20'-0"

ARROWCREEK UNIT #27 - LOT #2745

ENGINEERIN
AND STRUCTURAL DESIG

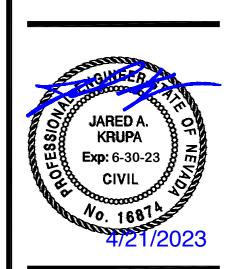
AND STRUCTURAL DESIGN

860 Maestro Dr. Suite A
Reno, NV 89511
P: (775) 355-0505
F: (775) 355-0566
www.K2eng.net

St House
Washoe County, Nevad

using Ridge Dr.

Brandt T. Kennedy, P.E. Jared A. Krupa, P.E.



Revisions

A 3/24/2023

A 4-24-2023

A 9/4/000

 Date
 2/4/2022

 Drawn
 AMH

 Checked
 JAK

 Project No.
 22-041

Site/ Grading Plan

A-1



3/24/2023 9:47:20 AM

Roof

Color: SLATE GREY

Material: Metal

Style: Standing Seam



Exterior Siding

Color: SAWGRASS

Material: TrueExterior

Style: Nickel Gap Ship Lap



Black Bean

Roof

Color: SLATE

Material: GAF: 40 YEAR -

Fiberglass Shingle

Exterior Siding

Color: SILKEY WHITE

Material: TrueExterior Style: Board and Batten

Wood Post

Color: Valley

Material: wood

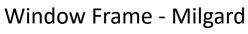
Style: wood stain

Patio Pavers

Color: Verona

Material: Basalite Paver

Style: Artisan Smooth



Color: Black BEAN

Material: Vinyl

Style: Cottage



Color: Brown, Tan, Carmel

Material: Stone