

Community Services Department  
Planning and Building  
**ADMINISTRATIVE PERMIT APPLICATION**



Community Services Department  
Planning and Building  
1001 E. Ninth St., Bldg. A  
Reno, NV 89512-2845

Telephone: 775.328.6100

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		<b>Staff Assigned Case No.:</b> _____	
Project Name: 5955 Rock Farm Residential Garage			
Project Description: Large Garage for our personal use For 5 <sup>th</sup> wheel, Boats, Jetskis, side by sides			
Project Address: 5955 Rock Farm RD Reno, NV 89511			
Project Area (acres or square feet): 5 ACRES			
Project Location (with point of reference to major cross streets AND area locator): Right off of Mount Rose Hwy + Timberline RD			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
APN 150-260-19	5	—	—
<b>Indicate any previous Washoe County approvals associated with this application:</b> Case No.(s). _____			
<b>Applicant Information (attach additional sheets if necessary)</b>			
<b>Property Owner:</b> Kevin Johnson		<b>Professional Consultant:</b>	
Name: Kevin Johnson		Name: Reno Tahoe Geos Assoc	
Address: 5955 Rock Farm RD Reno, NV Zip: 89511		Address: 12000 Old Virginia RD Reno, NV Zip: 89511	
Phone: (775) 240-0117 Fax: —		Phone: (775) 853-9100 Fax: —	
Email: Brittini.jean@gmail.com		Email: CBrennan@RTGEO.COM	
Cell: (775) 338-3567 Other: —		Cell: — Other: —	
Contact Person: Brittini or Kevin Johnson		Contact Person: Christina Brennan	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: Kevin Johnson		Name: <del>_____</del>	
Address: 5955 Rock Farm RD Reno, NV Zip: 89511		Address: <del>_____</del> Zip: _____	
Phone: (775) 240-0117 Fax: _____		Phone: _____ Fax: _____	
Email: Brittini.jean@gmail.com		Email: _____	
Cell: (775) 338-3567 Other: _____		Cell: _____ Other: _____	
Contact Person: Brittini Johnson		Contact Person: _____	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Administrative Permit Application  
Supplemental Information**

(All required information may be separately attached)

1. What is the type of project or use being requested?

Residential <sup>Detached</sup> Accessory Structure

2. What section of the Washoe County code requires the Administrative permit required?

110.30c.10(D) Detached Accessory Structure

3. What currently developed portions of the property or existing structures are going to be used with this permit?

Small residence

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

New structure,  
water line, sewer, driveway

5. Is there a phasing schedule for the construction and completion of the project?

Fall 2023 - Fall 2024

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Residential Property for our Residential Garage

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

Completes the aesthetics and property value of community

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

There are no negative impacts

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

N/A

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

n/a

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

n/a

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

n/a

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

Yes  No

14. Utilities:

a. Sewer Service	on site septic
b. Water Service	on site private well

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #	n/a	acre-feet per year	n/a
d. Certificate #	n/a	acre-feet per year	n/a
e. Surface Claim #	n/a	acre-feet per year	n/a
f. Other, #	n/a	acre-feet per year	n/a

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

n/a

# METAL WAREHOUSE AT 5955 ROCK FARM ROAD

WASHOE COUNTY, NEVADA  
PROJECT NUMBER: 23055.001

OWNER:  
**KEVIN & BRITNI JOHNSON**  
5925 LAKE GENEVA COURT  
RENO, NV 89511

ENGINEER:  
**RENO TAHOE GEO ASSOCIATES, INC**  
PO BOX 18449  
RENO, NEVADA 89511  
PHONE: (775) 853-9100  
WEBSITE: www.RTGeo.com



SHEET INDEX		
NO.	SHEET	SHEET TITLE
1	G1.0	COVER SHEET
2	G1.1	NOTES
3	G1.2	LEGENDS
4	C1.0	SITE PLAN
5	C2.0	GRADING PLAN
6	C2.1	GRADING SECTION VIEWS
7	C3.0	BMP PLAN
8	C4.0	SEWAGE DISPOSAL SYSTEM
9	D1.0	SITE DETAILS
10	D2.0	BMP DETAILS
11	D3.0	SEPTIC DETAILS

### LOT INFORMATION:

APN: 150-260-19  
LOT SIZE: 217,800 SQUARE FEET (5 ACRES)  
ZONE: HDR (HIGH-DENSITY RURAL)  
FLOOD ZONE: ZONE X (PER COMMUNITY PANEL #32031C3240G)

### IWUIC NOTES:

INTERNATIONAL WILDLAND-URBAN INTERFACE CODE (IWUIC):  
FIRE HAZARD CLASSIFICATION: HIGH  
DEFENSIBLE SPACE: CONFORMING TO 50 FEET, MUST MAINTAIN 50' FIRE BREAK  
WATER SUPPLY: NON-CONFORMING  
IGNITION RESISTANT CONSTRUCTION CLASSIFICATION: IR1 WITH CONFORMING DEFENSIBLE SPACE, IR2 WITH 1.5x DEFENSIBLE SPACE (75 FEET) PER TABLE 503.1 OF THE 2018 WILDLAND URBAN INTERFACE CODE

ACCESS SHALL BE PROVIDED PER SECTION 403 OF THE WUI CODE

### IFC NOTES:

INTERNATIONAL FIRE CODE (IFC):  
FIRE APPARATUS ACCESS ROAD REQUIREMENTS:  
ALL EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING ARE WITHIN 150 FEET OF THE ACCESS ROAD PER SECTION 503.1 OF THE 2018 INTERNATIONAL FIRE CODE

ALL TURNAROUNDS COMPLY WITH FIGURE D103.1 DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUNDS

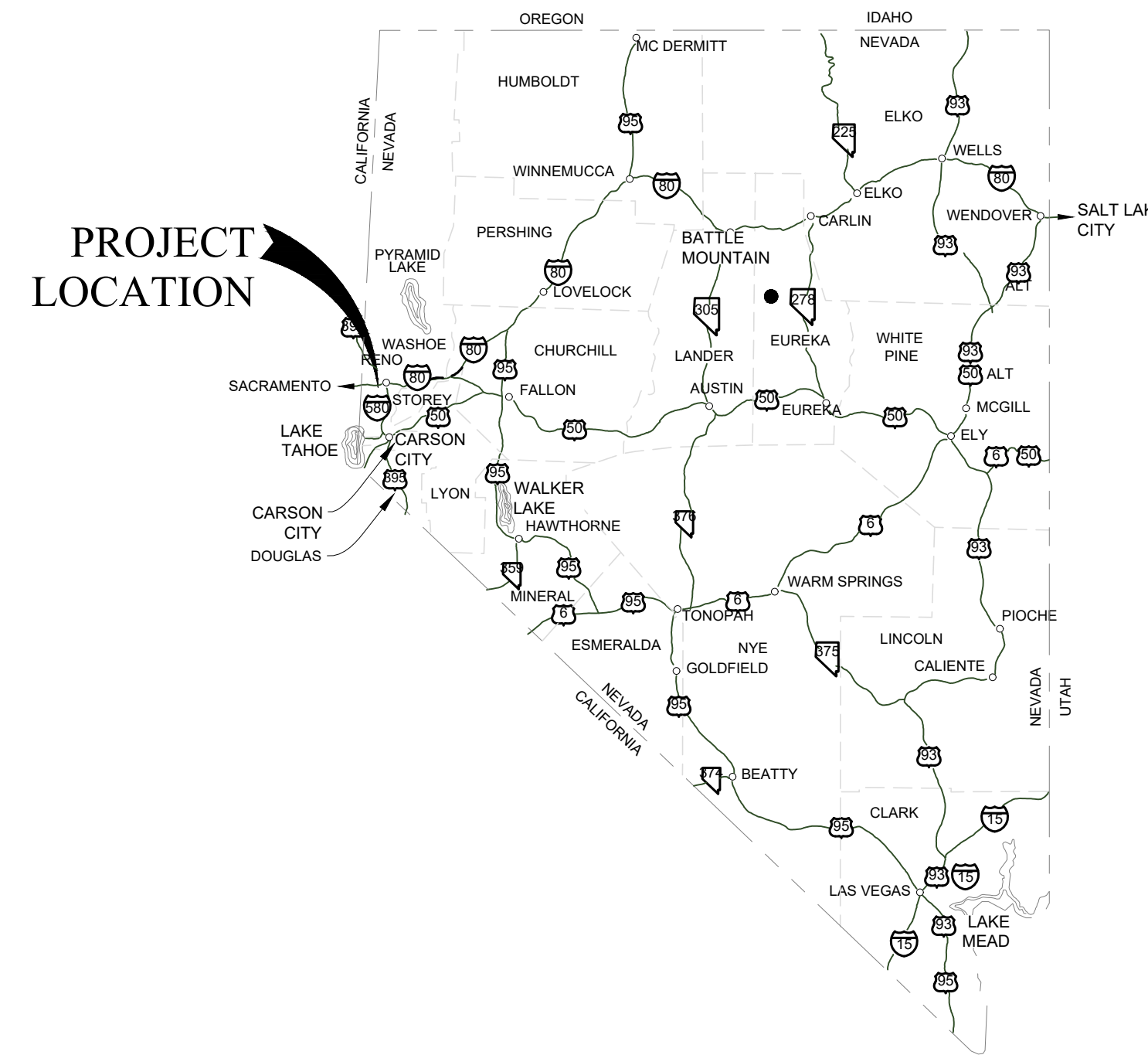
### SCOPE OF WORK:

METAL SHOP BUILDING IMPROVEMENT PLAN FOR EXISTING RESIDENCE

### CODE ANALYSIS:

PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED CODES AND AMENDMENTS IN THE JURISDICTION INCLUDING BUT NOT LIMITED TO: 2018 IRC, 2018 IWUIC, 2018 NORTHERN NEVADA CODE AMENDMENTS, AND 2018 NORTHERN NEVADA FIRE CODE AMENDMENTS.

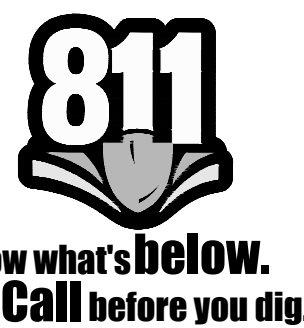
### VICINITY MAP N.T.S.



### LOCATION MAP N.T.S.

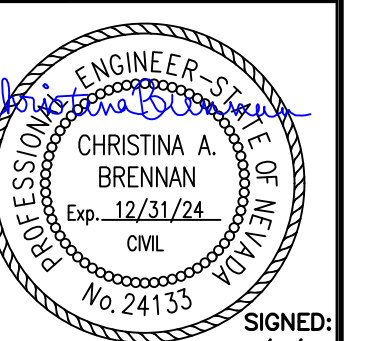


RENO TAHOE GEO ASSOCIATES ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS AND ELEVATIONS. THE UTILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. IF A CONFLICT EXISTS BETWEEN WHAT IS SHOWN ON THESE DRAWINGS AND WHAT EXISTS IN THE FIELD, THE CONTRACTOR IS TO NOTIFY THE ENGINEER IMMEDIATELY.



**Reno Tahoe Geo Associates, Inc.**  
CONSULTING CIVIL ENGINEERS  
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TEL (775)853-9100  
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COVER SHEET  
METAL WAREHOUSE  
5955 ROCK FARM ROAD  
APN: 150-260-19



DATE: SEPT. 2023  
JOB NUMBER: 23055.001  
DESIGNED BY: CAB  
DRAWN BY: MEM  
CHECKED BY: CAB

SHEET  
G1.0

**GENERAL NOTES**

- CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE LATEST EDITIONS OF THE PROJECT SPECIFICATIONS, AND PROJECT PLANS AND CONSTRUCTION DETAILS, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) AND THE STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION (SDPWC), NEVADA ADMINISTRATIVE CODE, WASHOE COUNTY DEVELOPMENT CODE, AND SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- ALL TRAFFIC CONTROL AND BARRICADING WITHIN THE WASHOE COUNTY RIGHT-OF-WAY SHALL CONFORM TO SECTION 130 OF THE STANDARD SPECIFICATIONS, PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND THE NEVADA WORK ZONE TRAFFIC CONTROL HANDBOOK, CURRENT EDITION. NO STREET CLOSURES WILL BE ALLOWED WITHOUT PRIOR APPROVAL OF A TRAFFIC CONTROL PLAN BY WASHOE COUNTY.
- UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THE PLANS. HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY ACTUAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CALL UNDERGROUND SERVICES ALERT, USA, AT (1-800-227-2600) AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
- MODIFICATIONS TO THE APPROVED PLANS REQUIRES REVIEW AND APPROVAL BY THE OWNER & ENGINEER. WORK PERFORMED WITHOUT WRITTEN APPROVAL WILL REQUIRE REMOVAL AT THE CONTRACTORS EXPENSE.
- THE APPROVED PLANS, PERMITS AND INSPECTION RECORDS MUST BE ON THE JOB SITE AT ALL TIMES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO POTHOLE EXISTING WATERLINES AND UTILITIES SURROUNDING THE AREA TO DETERMINE THE EXACT LOCATION AND DEPTH. POTHOLING SHALL OCCUR A MINIMUM OF 7 DAYS PRIOR TO THE COMMENCEMENT OF WORK IN ANY AREA. CONTRACTOR SHALL REPORT THE FINDINGS TO THE ENGINEER WITHIN 24 HOURS AFTER COMPLETION.
- OUTSIDE OF AN UNFORESEEN CIRCUMSTANCE WATER MAIN SHUTDOWNS/INTERRUPTION OF SERVICE IS NOT PERMITTED.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- PURSUE WORK IN A CONTINUOUS AND DILIGENT MANNER TO ENSURE A TIMELY COMPLETION OF THE PROJECT.
- ALL CONSTRUCTION SHALL BE CLOSELY COORDINATED WITH THE OWNER SO THAT THE QUALITY OF WORK CAN BE CHECKED FOR APPROVAL.
- MAINTAIN THE SITE IN A NEAT AND ORDERLY MANNER THROUGHOUT THE CONSTRUCTION PROCESS. CONTRACTOR SHALL STORE/CONTAIN, HANDLE AND TRANSPORT HAZARDOUS OR FLAMMABLE MATERIALS TO MINIMIZE THE POTENTIAL FOR SPILLS, FIRES OR EXPLOSIONS. STORAGE/CONTAINMENT, HANDLING AND TRANSPORT OF HAZARDOUS OR FLAMMABLE MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL, STATE OR FEDERAL REQUIREMENTS.
- CONTRACTOR SHALL MAINTAIN AND OPERATE EQUIPMENT IN A MANNER TO MINIMIZE THE POTENTIAL FOR SPILLS. SPILLS OF HAZARDOUS OR FLAMMABLE MATERIALS SHALL BE IMMEDIATELY REPORTED TO THE OWNER OR OWNER REPRESENTATIVE.
- WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE RECYCLED, REUSED, OR DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE OR FEDERAL REQUIREMENTS.
- CONTRACTOR SHALL OPERATE VEHICLES IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS. VEHICLE AND EQUIPMENT OPERATORS SHALL BE PROPERLY LICENSED AND TRAINED.
- VEHICLE ACCIDENTS, INJURIES, SPILLS OR OTHER INCIDENTS SHALL BE IMMEDIATELY REPORTED TO THE OWNER OR OWNER REPRESENTATIVE.
- CONSTRUCTION STAGING AREA SHALL BE AT DESIGNATED AREAS COORDINATED WITH OWNER. OWNER MAY DESIGNATE WHICH AREAS MAY BE USED WHEN AND FOR HOW LONG. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF ALL EQUIPMENT AND MATERIALS. CONTRACTOR MAY OBTAIN PERMISSIONS TO STAGE AT OTHER LOCATIONS ON OWN ACCORD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING SURVEY MONUMENTS AND SHALL REPLACE ANY MONUMENTS OBLITERATED OR DAMAGED DURING CONSTRUCTION AT HIS EXPENSE. REPLACEMENT SHALL BE PERFORMED BY A LICENSED PROFESSIONAL LAND SURVEYOR.
- THE CONTRACTOR SHALL UTILIZE CONSTRUCTION TECHNIQUES TO MINIMIZE GRADING, VEGETATION REMOVAL, AND SURFACE DISTURBANCE. CONTRACTOR WILL BE RESPONSIBLE FOR THE RESTORATION OF ALL LANDSCAPING, SOD, CURBS, ASPHALT, DRIVEWAY PAVERS, RIP RAP, RETAINING WALLS, IRRIGATION PIPING AND LANDSCAPE LIGHTING TO EQUAL OR BETTER THAN EXISTING CONDITION.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL MATERIALS TO BE USED ON THE SITE TO INCLUDE, BUT NOT BE LIMITED TO, A.C. AND P.C.C. MIX DESIGN, AGGREGATE BASE QUALIFICATIONS, PRECAST CONCRETE, CAST IRON GRATES AND COVERS, PIPING, FENCING, AND SIGNS TO THE PROJECT ENGINEER FOR APPROVAL PRIOR TO THE MANUFACTURER OR USE OF SUCH ITEMS.
- ALL QUANTITIES SHOWN HEREIN ARE APPROXIMATE AND USED FOR PERMIT AND BOND PURPOSES ONLY. THEY SHALL NOT BE USED IN ANY WAY FOR BIDDING OR CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONDUCT QUANTITY TAKE-OFFS FOR BIDDING AND CONSTRUCTION PURPOSES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT AND MAKE HIS OWN INTERPRETATIONS WITH REGARD TO MATERIALS, METHODS AND EQUIPMENT NECESSARY TO PERFORM THE WORK REQUIRED FOR THIS PROJECT.
- EXCAVATION WITHIN 5' OF POWER POLE WILL REQUIRE SUPPORT FROM POWER COMPANY AT NO ADDITIONAL COST TO OWNER.

**DEMOLITION NOTES:**

- EXISTING IMPROVEMENTS, ADJACENT PROPERTY, UTILITIES AND OTHER FACILITIES, AND TREES AND PLANTS THAT ARE NOT TO BE REMOVED SHALL BE PROTECTED FROM INJURY OR DAMAGE RESULTING FROM THE CONTRACTORS OPERATIONS IN ACCORDANCE WITH THE SSRBC AND SSPWC 301.04 AND 300.04.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY BOXES AND FRAME AND COVERS, BOTH HORIZONTALLY AND VERTICALLY, AS REQUIRED TO FIT THE NEW WORK. THE CONTRACTOR SHALL REPLACE ANY APPURTENANCES, PLANTS AND SURFACING DAMAGED DURING RELOCATION. DECORATIVE SURFACING SHALL BE MATCHED AFTER BACKFILL.

**EROSION CONTROL NOTES**

- BEST MANAGEMENT PRACTICES SHALL BE IN PLACE FOR DUST CONTROL AND EROSION CONTROL DURING CONSTRUCTION (COIR LOGS, GRAVEL BAGS, SILT FENCE).
- THE CONTRACTOR SHALL INCORPORATE ADEQUATE DRAINAGE PROCEDURES DURING THE CONSTRUCTION PROCESS TO ELIMINATE EXCESSIVE EROSION OR PONDING AND TO PROTECT ADJACENT IMPROVEMENTS AND PROPERTIES FROM AN INFLUX OF RUNOFF OR SEDIMENT. SEDIMENTATION FENCING IS REQUIRED AT THE LIMITS OF GRADING.
- THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM INCLUDING WATERING OF OPEN AREAS, 7 DAYS A WEEK. NO FUGITIVE DUST FROM THE SITE SHALL BE ALLOWED.
- IF NECESSARY, CONTRACTOR SHALL ENHANCE EROSION CONTROL MEASURES IN THE FIELD.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL:
  - STABILIZE ENTRANCES AND EQUIPMENT PARKING AREAS;
  - INSTALL SEDIMENT CONTROL DEVICES, AND
  - INSTALL WASH DOWN AREA.
- UPON COMPLETION OF THE PROJECT, WITHIN 15 DAYS OF COMPLETION OF ANY PHASE, THE CONTRACTOR SHALL:
  - REMOVE ALL GRADING AND CONSTRUCTION DEBRIS;
  - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES (AFTER PERMANENT MEASURES ARE ESTABLISHED), AND
  - REVEGETATE DISTURBED AREAS WITH NATIVE SEED.
- EQUIPMENT AND VEHICLES SHALL NOT TRAVEL BEYOND THE LIMITS OF GRADING TO PREVENT DISRUPTION OF NATIVE VEGETATION.
- STOCKPILED TOP SOILS AND VEGETATIVE STRIPPINGS ARE TO BE REAPPLIED TO DISTURBED SLOPE AREAS.
- ALL AREAS DISTURBED AND LEFT UNDEVELOPED FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE STABILIZED BY THE APPLICATION OF DUST PALLIATIVE. ALL AREAS LEFT UNDEVELOPED FOR MORE THAN 90 DAYS SHALL BE HYDRO-SEEDED WITH AN APPROVED SEED MIX AND TACKIFIER AND SHALL BE IRRIGATED UNTIL FIRMLY ESTABLISHED.
- CONCENTRATED CONSTRUCTION FLOWS SHALL BE CHANNELIZED TO TEMPORARY OR PERMANENT SEDIMENT TREATMENT FACILITIES. SEDIMENT LADEN WATER SHALL NOT ENTER THE NATURAL DRAINAGE OR PUBLIC STORM DRAIN SYSTEM.

**GRADING & EARTHWORK NOTES**

- THE CONTRACTOR SHALL UTILIZE TECHNIQUES WHICH MINIMIZE GRADING, VEGETATION REMOVAL, AND TEMPORARY AND PERMANENT DISTURBANCE. ALL AREAS DISTURBED AS A RESULT OF THE WORK SHALL BE REVEGETATED WITH THE APPLICATION OF SEED MIXTURES OF SODAR WHEATGRASS, SAGEBRUSH, RYEGRASS AND/OR PLANT MIX IN ACCORDANCE WITH THE TRUCKEE MEADOWS STRUCTURAL CONTROLS DESIGN AND LOW IMPACT DEVELOPMENT MANUAL PREPARED BY NCE, DATED APRIL 2015.
- NO ESTIMATE OF EARTHWORK QUANTITIES HAS BEEN MADE FOR THIS PROJECT. EARTHWORK QUANTITIES SHALL BE PREPARED BY THE CONTRACTOR.
- ALL EARTHWORK, CLEARING AND GRUBBING, SUBGRADE PREPARATION, ETC. SHALL CONFORM TO THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- SOIL TYPES TO BE OMITTED FROM PROJECT INCLUDE:
  - ORGANIC MATERIAL (E.G. ORGANIC SILT, SOD, PEAT, MULCH, ETC.);
  - SOILS CONTAINING EXPANSIVE CLAYS;
  - MATERIAL CONTAINING EXCESSIVE MOISTURE;
  - POORLY GRADED COARSE MATERIAL, AND
  - MATERIAL WHICH WILL NOT ACHIEVE DENSITY AND/OR BEARING REQUIREMENTS.
- ELEVATIONS NOT SHOWN ON PLANS SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. OWNER SHALL APPROVE ALL ELEVATIONS.
- THE CONTRACTOR SHALL GRADE ALL AREAS TO DRAIN AND SHALL BE RESPONSIBLE FOR ELIMINATING ALL LOW SPOTS OR PONDING AREAS.
- NO FILL SHALL BE PLACED OR COMPACTED IN UNFAVORABLE WEATHER CONDITIONS. OVERLY WET, DRY OR FROZEN FILL SHALL NOT BE PLACED.
- RIPRAP DESIGNATION AND GRADATION SHALL CONFORM WITH SECTION 200.06 OF THE STANDARD SPECIFICATIONS. RIPRAP SHOULD BE ANGULAR IN SHAPE, FREE FROM CRACKS AND ORGANIC MATTER. RIPRAP SIZE SHALL MAINTAIN:
  - DEPTH AND THICKNESS SHALL BE MINIMUM 1/2 OF ITS LENGTH
  - MINIMUM SPECIFIC GRAVITY = 2.5
  - MINIMUM LAY THICKNESS = 2 x d50
 OWNER SHALL APPROVE ALL RIPRAP FOR PROJECT PRIOR TO STOCKPILING.
- USE CAUTION WITH OVERHEAD POWER LINES. MAINTAIN PROPER CLEARANCE AS REQUIRED BY POWER COMPANY DURING CONSTRUCTION. EXCAVATION WITHIN 5' OF A POLE WILL REQUIRE SUPPORT FROM POWER COMPANY AT NO ADDITIONAL COST TO OWNER.
- DRAINAGE SWALES, DITCHES, BERMS, AND OTHER EXISTING CONDITIONS SHALL BE PROTECTED IN PLACE OR RE-ESTABLISHED TO EQUAL OR BETTER CONDITIONS, INCLUDING BUT NOT LIMITED TO SLOPE PROTECTION (IE. AGGREGATE ROCK).

**DUST CONTROL NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR PREVENTING CONTROLLABLE FUGITIVE DUST FROM THE PROJECT'S DISTURBED AREAS TO BECOME AIRBORNE ON A 7-DAY/WEEK, 24-HOUR/DAY BASIS FROM COMMENCEMENT OF THE PROJECT TO FINAL COMPLETION.
- REGULAR VACUUM OR SWEEPING OF PAVED SURFACES WHERE CONSTRUCTION IS OCCURRING WILL BE PERFORMED AT LEAST DAILY AND MORE OFTEN IF NECESSARY TO REMOVE DIRT OR WASTE RESULTING FROM THE CONSTRUCTION.
- STOCKPILED EARTHEN MATERIALS SHALL BE STABILIZED BY MAINTAINING A VISIBLE CRUST BY APPLYING ADEQUATE MOISTURE; OR COVERING THE MATERIALS WITH A TARP TO PREVENT VISIBLE FUGITIVE DUST EMISSIONS.
- ALL TRUCKS IMPORTING OR EXPORTING DIRT, ROCK OR OTHER FILL MATERIALS SHALL PREVENT SPILLAGE OR LOSS OF BULK MATERIAL FROM HOLES OR OTHER OPENINGS IN THE CARGO COMPARTMENT FLOOR, SIDES, AND/OR TAILGATE. ALL HAUL TRUCKS MUST BE COVERED WITH A TARP OR OTHER SUITABLE CLOSURE; OR BULK MATERIALS MUST CONTAIN ENOUGH MOISTURE AND/OR DUST SUPPRESSANT TO PREVENT FUGITIVE DUST EMISSIONS DURING TRANSPORT; OR LOAD ALL TRUCKS SUCH THAT THE FREEBOARD IS NOT LESS THAN SIX (6) INCHES. ALL MATERIALS NOT TO BE INCORPORATED INTO THE WORK SHALL BE HAULED OUTSIDE OF THE TAHOE BASIN.
- ALL PROJECT RELATED VEHICLES SHALL PARK ON EXISTING PAVED SURFACES OR EXISTING COMPACTED ROAD SHOULDERS. CONTRACTOR SHALL MINIMIZE CONSTRUCTION RELATED VEHICLE AND EQUIPMENT EMISSIONS DURING CONSTRUCTION BY SHUTTING OFF EQUIPMENT AND VEHICLES NOT IN USE. IDLING OF DIESEL ENGINES SHALL BE KEPT AT A MINIMUM SO FAR AS PRACTICAL.

**MATERIAL TESTING:**

- CONTRACTOR WILL CONTRACT WITH AND PROVIDE THIRD PARTY MATERIAL TESTING FOR THE FOLLOWING (PER PLANS AND SPECIFICATIONS):
  - COMPACTION OF ALL SOILS, HERE, ETC.
  - CONCRETE
  - ASPHALT

**DRIVEWAY & ACCESS NOTES:**

- ALL DRIVEWAYS AND ACCESS ROADS SHALL BE RE-ESTABLISHED TO EQUAL OR BETTER CONDITIONS.

REV.	DATE	BY	APP'D

**Reno Tahoe Geo Associates, Inc.**  
CONSULTING CIVIL ENGINEERS

TEL (775)853-9100  
FAX (775)853-9199

P.O. Box 18449  
Reno, Nevada 89511

**NOTES**

**METAL WAREHOUSE**  
**5955 ROCK FARM ROAD**  
**APN: 150-260-19**

NEVADA  
WASHOE COUNTY



DATE: SEPT. 2023  
 JOB NUMBER: 23055.001  
 DESIGNED BY: CAB  
 DRAWN BY: MEM  
 CHECKED BY: CAB

SHEET  
**G1.1**

### ABBREVIATIONS

AC	ASPHALTIC CONCRETE	LN.	LANE	STA	STATION
AGG.	AGGREGATE	M.D.D.	MAXIMUM DRY DENSITY	STD.	STANDARD
APP	APPROVED	MAX	MAXIMUM	TDH	TOTAL DYNAMIC HEAD
BLVD.	BOULEVARD	MTE	MATCH TO EXISTING	TOE	TOE OF SLOPE
CL	CENTER LINE	MIN	MINIMUM	TOP	TOP OF SLOPE
CLR.	CLEAR	MSD	MOLECULAR SCIENCE DIVISION	TYP.	TYPICAL
CMP	CORRUGATED METAL PIPE	N	NORTH	UGE	UNDERGROUND ELECTRICAL
CO	CLEANOUT	NDOT	NEVADA DEPARTMENT OF TRANSPORTATION	UNR	UNIVERSITY OF NEVADA, RENO
CONC.	CONSTRUCTION	NO.	NUMBER	VERT.	VERTICAL
CY	CUBIC YARDS	NTS	NOT TO SCALE		
DI	DROP INLET	NVE	NEVADA ENERGY		
DIA.	DIAMETER	P.C.C.	PORTLAND CONCRETE CEMENT		
DIM	DIMENSION	P.I.P.	PROTECT IN PLACE		
DR.	DRIVE	PSF	POUNDS PER SQUARE FOOT		
EA.	EACH	PSI	POUNDS PER SQUARE INCH		
EG	EXISTING GROUND	PUE	PUBLIC UTILITY EASEMENT		
ELEC	ELECTRICAL	PVC	POLYVINYL CHLORIDE		
EP	EDGE OF PAVEMENT	R	RADIUS		
EX.	EXISTING	R/W	RIGHT-OF-WAY		
FF	FINISHED FLOOR	RT	RIGHT		
FG	FINISHED GRADE	R&R	REMOVE AND REPLACE		
FFC	FRONT FACE OF CURB	SCH	SCHEDULE		
FL	FLOWLINE	SD	STORM DRAIN		
FT	FEET	SDMH	STORM DRAIN MANHOLE		
GPD	GALLONS PER DAY	SF	SQUARE FEET		
GPM	GALLONS PER MINUTE	SHT.	SHEET		
HC	HANDICAP	SQ.	SQUARE		
HORIZ.	HORIZONTAL	SS	SANITARY SEWER		
HP	HIGH POINT	SSCO	SANITARY SEWER CLEANOUT		
IRR	IRRIGATION	SSFM	SANITARY SEWER FORCE MAIN		
KV	KILOVOLT	SSPWC	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION		
L	LENGTH				
LF	LINEAL FEET				

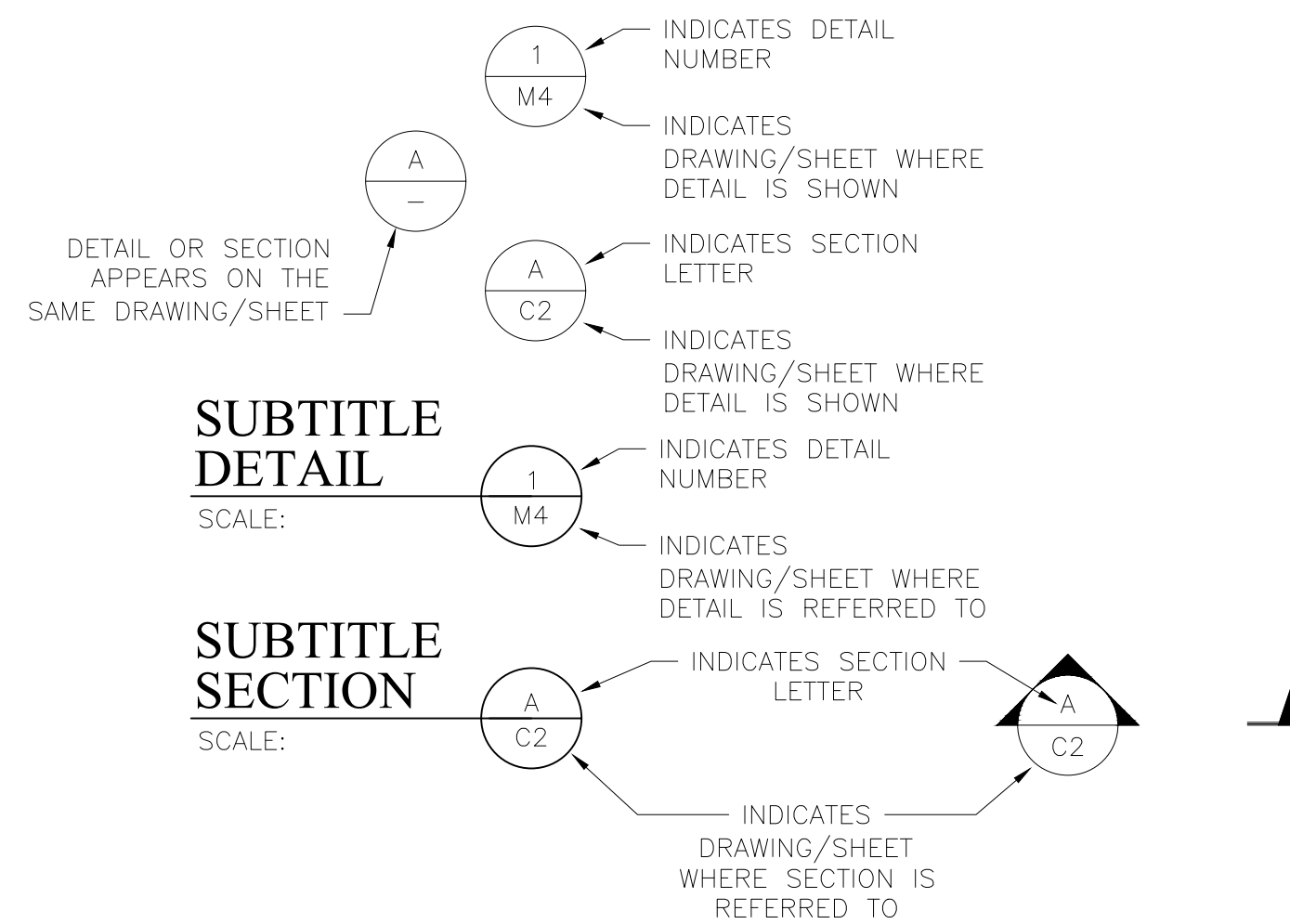
### EXISTING LEGEND:

——— EX W	WATERLINE
——— EX FW	FIRE WATERLINE
——— EX IRR	IRRIGATION
——— EX SS	SANITARY SEWER
——— EX SSFM	SANITARY SEWER FORCEMAIN
——— EX SD	STORM DRAIN
——— EX E	ELECTRICAL
——— EX OHP	OVER HEAD POWER
——— EX TELE	TELEPHONE/COMM LINE
——— EX FO	FIBER OPTIC LINE
——— EX G	GAS MAIN/LATERAL
——— EX C	CONDUIT
——— UTIL	MISCELLANEOUS/UNIDENTIFIED UTILITY
———	EDGE OF PAVEMENT
———	RIGHT OF WAY
———	PROPERTY LINE
———	EASEMENT
———	SETBACK
-x-x-x-x-x-	FENCE WIRE
> >	DITCH/DRAINAGE CHANNEL
——— 4600	MAJOR CONTOUR LINE
——— 4601	MINOR CONTOUR LINE
○ ○ ○	TREES AND VEGETATION
———	TRAVEL WAY
⊙	WELL
⊙ Gv	GAS VALVE
⊙ Wv	WATER VALVE
⊙ EM	ELECTRIC METER
⊙ TP	TRANSFORMER PAD
⊙	POWER POLE
⊙ EV	ELECTRIC VAULT
○ SS RISER	SS RISER
○ SS INT	SS INTERCEPTOR
→	ANCHOR

### PROPOSED LEGEND:

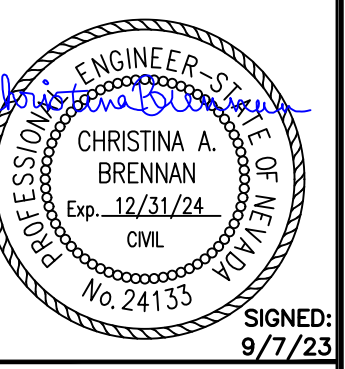
——— 12+00	CONSTRUCTION CONTROL LINE/CENTER LINE
——— SS	SANITARY SEWER MAIN
——— SSFM	SANITARY SEWER FORCEMAIN
——— W	WATERMAIN
——— SD	STORM DRAIN
○ ○	FENCE
——— > >	DRAINAGE SWALE
———	GRADE BREAK
——— 4605	MAJOR CONTOUR LINE
——— 4604	MINOR CONTOUR LINE
———	EASEMENT
———	EDGE OF PAVEMENT

### DETAIL AND SECTION DESIGNATION



**Reno Tahoe Geo Associates, Inc.**  
CONSULTING CIVIL ENGINEERS  
P.O. Box 18449  
Reno, Nevada 89511  
TEL (775)853-9100  
FAX (775)853-9199

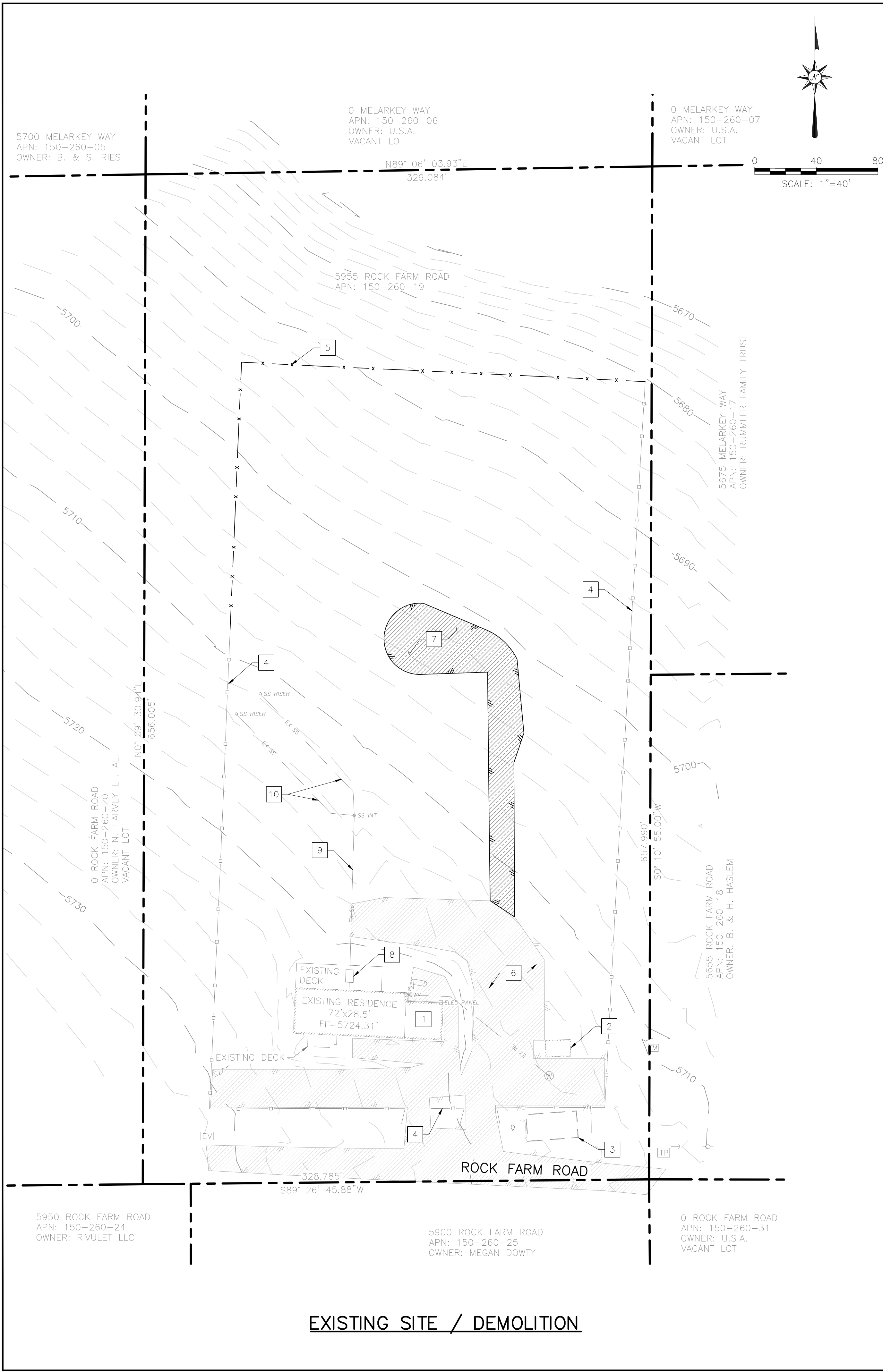
**LEGENDS**  
METAL WAREHOUSE  
5955 ROCK FARM ROAD  
APN: 150-260-19



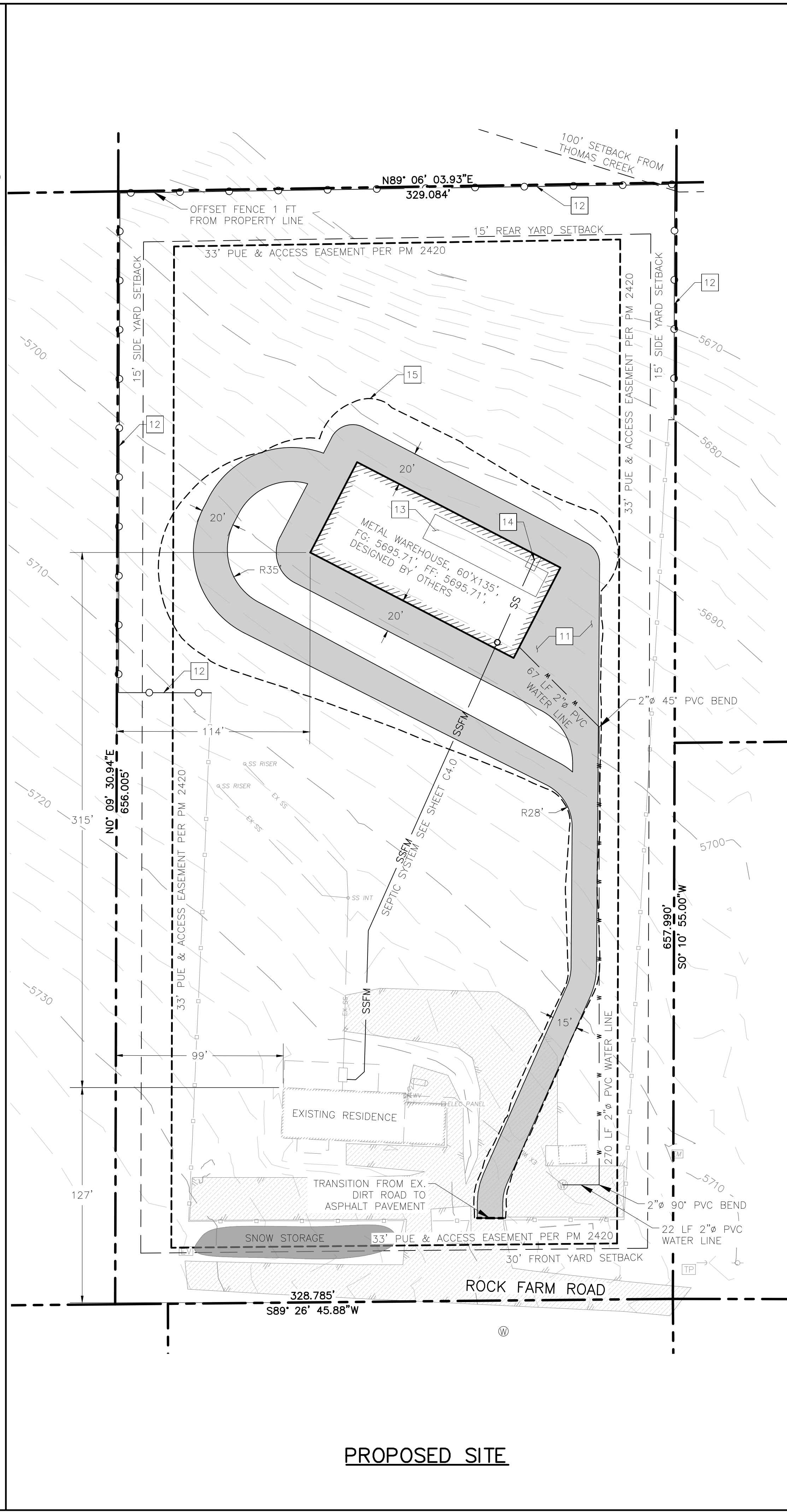
SIGNED: 9/7/23  
DATE: SEPT. 2023  
JOB NUMBER: 23055.001  
DESIGNED BY: CAB  
DRAWN BY: MEM  
CHECKED BY: CAB

SHEET  
**G1.2**

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EXISTING SITE / DEMOLITION



PROPOSED SITE

**SHEET NOTES:**

- 1 EXISTING GARAGE
- 2 EXISTING SHED
- 3 EXISTING FOUNDATION
- 4 EXISTING FENCE, 1037 LF TOTAL TO REMAIN IN PLACE
- 5 EXISTING FENCE, 437 LF TOTAL TO BE REMOVED
- 6 EXISTING EXPOSED DIRT ROAD
- 7 5634 SF EXISTING EXPOSED DIRT ROAD, REVEGETATE WITH NATIVE PLANT SPECIES
- 8 EXISTING 1,500 GALLON SEPTIC TANK
- 9 EXISTING SEPTIC LINE, 4" SDR-35 PVC AT 2% MIN. SLOPE
- 10 EXISTING SEPTIC TRENCH
- 11 22,457 SF ASPHALT DRIVEWAY, DETAIL 1/D1.0
- 12 FENCE, 819 LF TOTAL, MATCH EXISTING
- 13 RV WASH STATION, DESIGNED BY OTHERS
- 14 6'x9' RV DUMP, DETAIL 3/D1.0
- 15 DISTURBED AREA (45,885 SF=1.05 ACRES)

**GENERAL NOTES:**

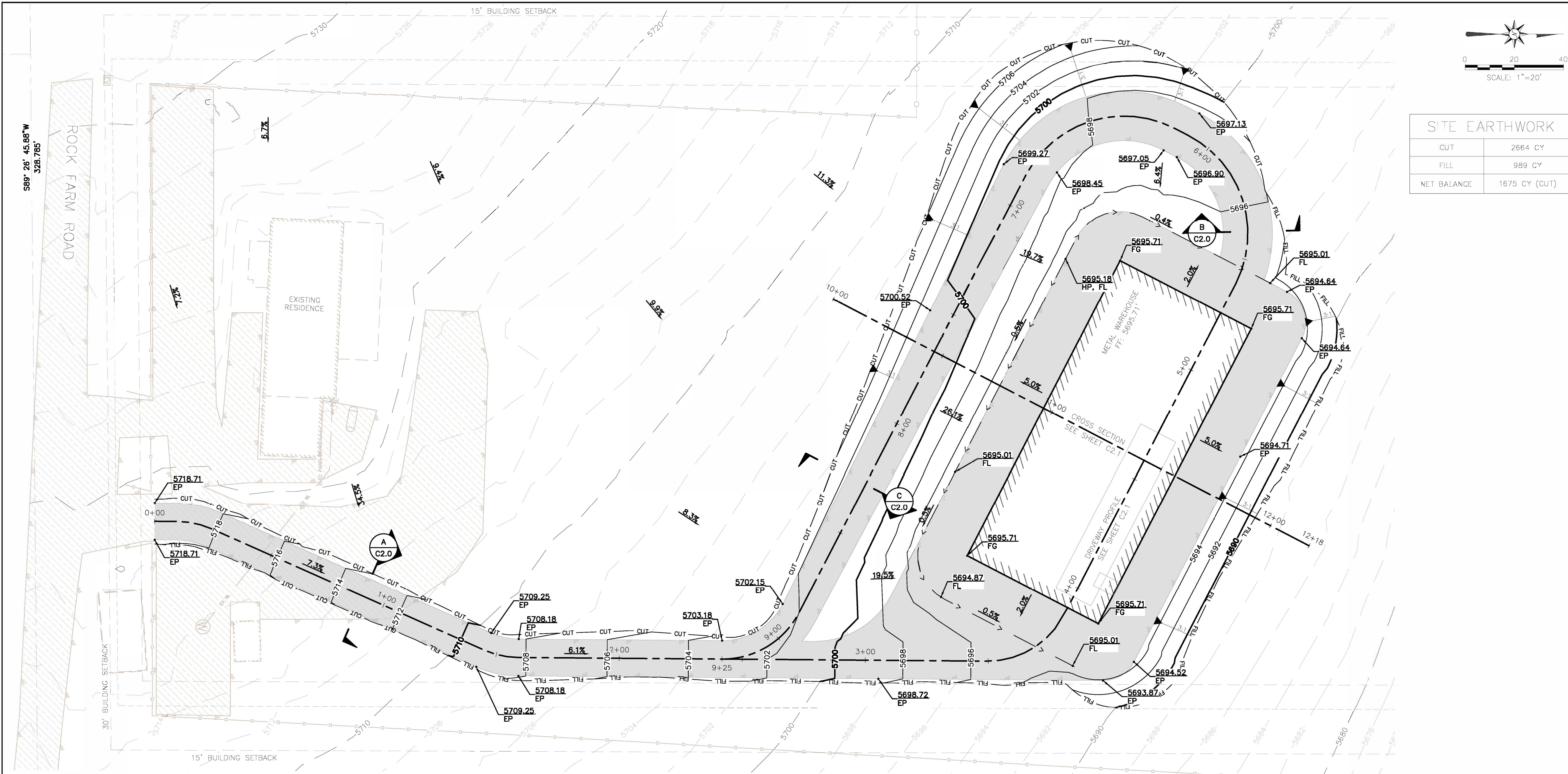
EXISTING UTILITY LINES ARE SHOWN PER RENO TAHOE GEO ASSOCIATES, INC. CIVIL SITE IMPROVEMENT PLANS DATED JUNE 15, 2021 FOR THE EXISTING RESIDENCE.

NO AREAS OF POTENTIAL HAZARD, ACTIVE FAULT LINES (POST-HOLOCENE), WETLAND AREAS, FLOODPLAINS, OR HYDROLOGICAL RESOURCES LOCATED ON THE PROPERTY.

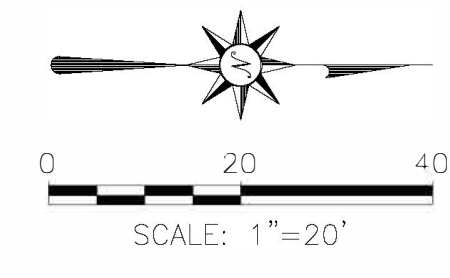
BY		APP'D			
REV.	DATE				
<p><b>SITE PLAN</b>  <b>METAL WAREHOUSE</b>  <b>5955 ROCK FARM ROAD</b>  <b>APN: 150-260-19</b></p>					
<p>DATE: <u>SEPT. 2023</u>          JOB NUMBER: <u>23055.001</u>          DESIGNED BY: <u>CAB</u>          DRAWN BY: <u>MEM</u>          CHECKED BY: <u>CAB</u></p>					
SHEET					
C1.0					



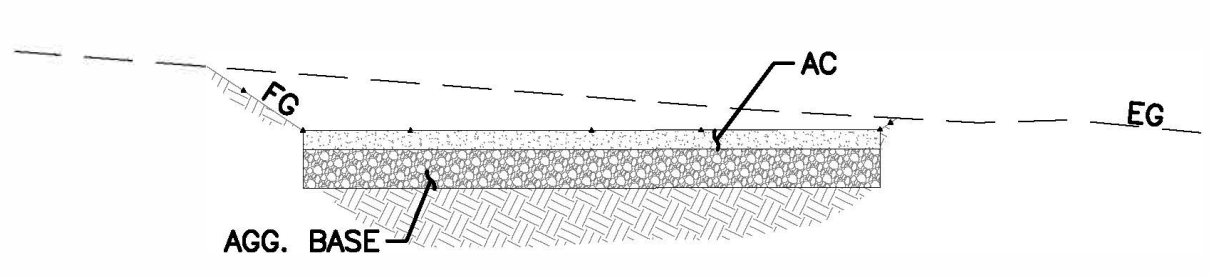
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SITE EARTHWORK	
CUT	2664 CY
FILL	989 CY
NET BALANCE	1675 CY (CUT)

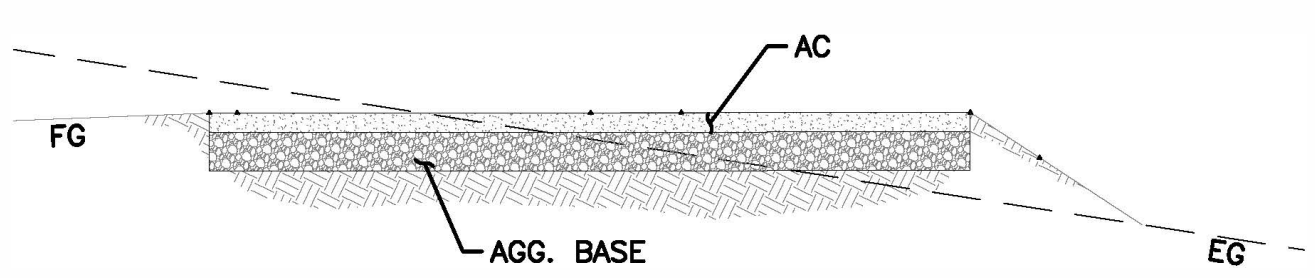


**GRADING PLAN**



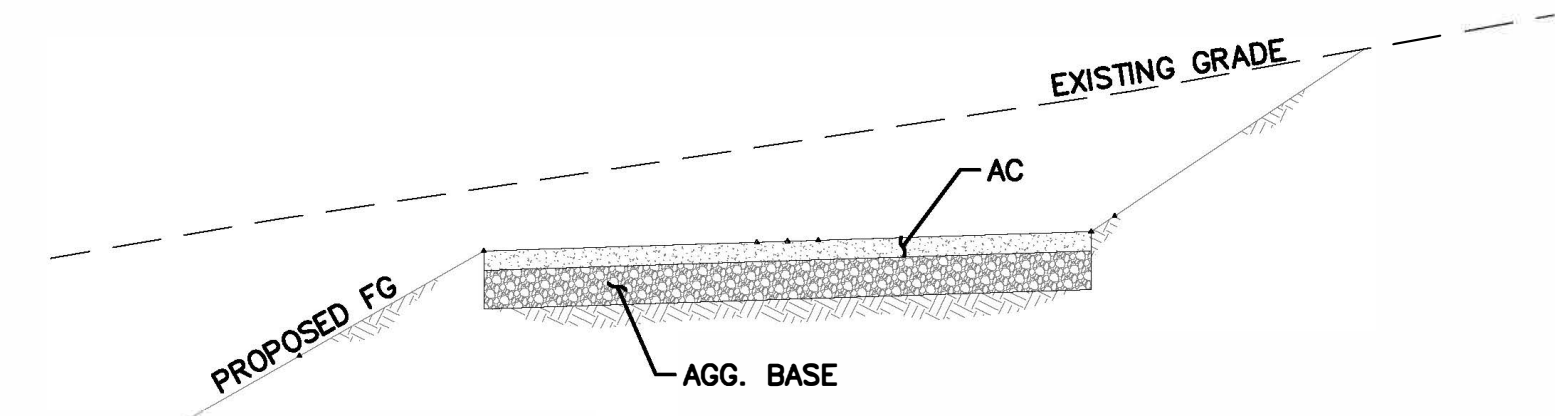
NOTE: SEE TYPICAL CROSS SECTION, DETAIL 1/D1.0, FOR MATERIALS

**A** STATION 0+90 CROSS SECTION  
 C2.0 HORZ SCALE: 1"=20', VERT SCALE: 1"=10'



NOTE: SEE TYPICAL CROSS SECTION, DETAIL 1/D1.0, FOR MATERIALS

**B** STATION 5+61 CROSS SECTION  
 C2.0 HORZ SCALE: 1"=20', VERT SCALE: 1"=10'



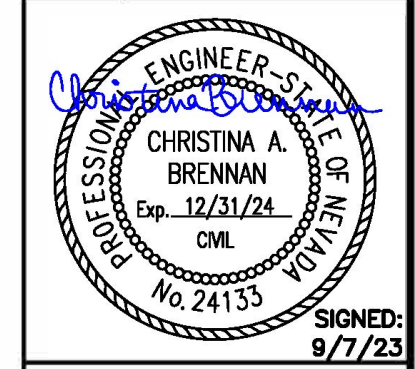
NOTE: SEE TYPICAL CROSS SECTION, DETAIL 1/D1.0, FOR MATERIALS

**C** STATION 8+27 CROSS SECTION  
 C2.0 HORZ SCALE: 1"=20', VERT SCALE: 1"=10'

REV.	DATE	BY	APPD

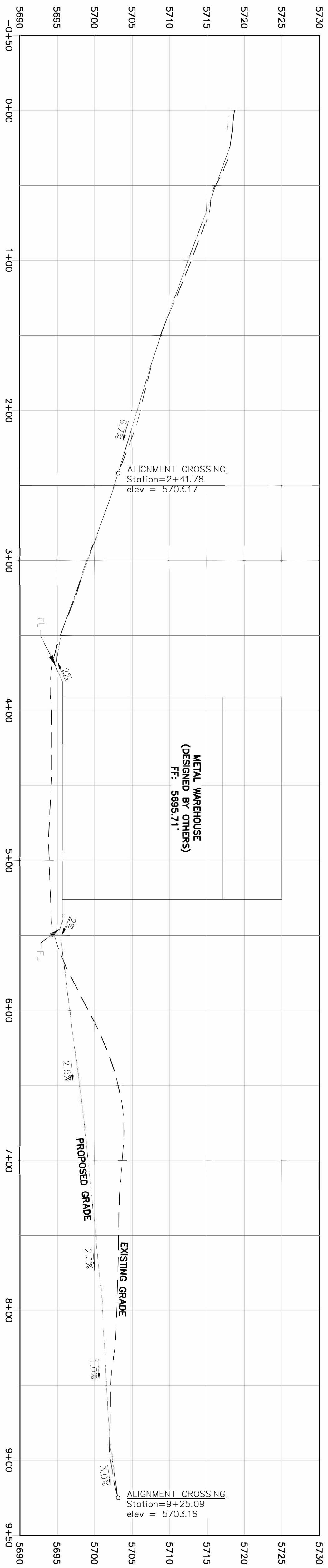
**Reno Tahoe Geo Associates, Inc.**  
 CONSULTING CIVIL ENGINEERS  
 P.O. Box 18449  
 Reno, Nevada 89511  
 TEL (775)853-9100  
 FAX (775)853-9199

**GRADING PLAN**  
 METAL WAREHOUSE  
 5955 ROCK FARM ROAD  
 APN: 150-260-19  
 WASHOE COUNTY NEVADA

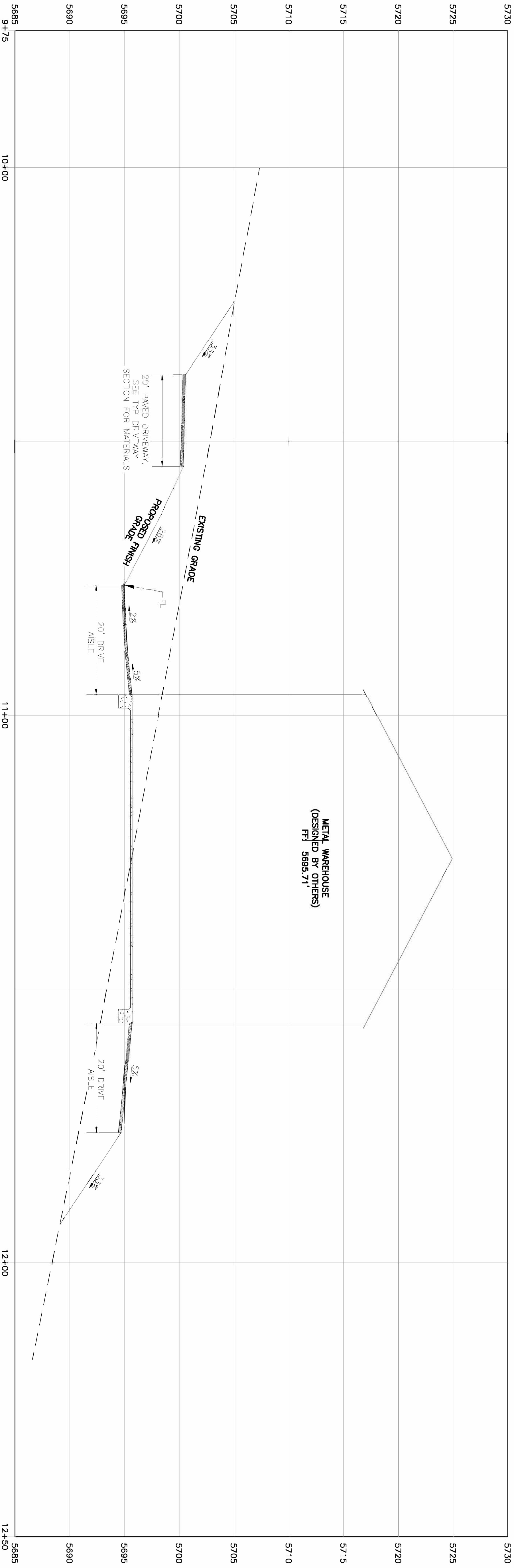


DATE: SEPT. 2023  
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SHEET  
**C2.0**



STA: 10+00 TO 12+18



REV.	DATE	BY	APP'D

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 Reno, Nevada 89511

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**GRADING SECTION VIEWS**

METAL WAREHOUSE  
 5955 ROCK FARM ROAD  
 APN: 150-260-19

WASHOE COUNTY

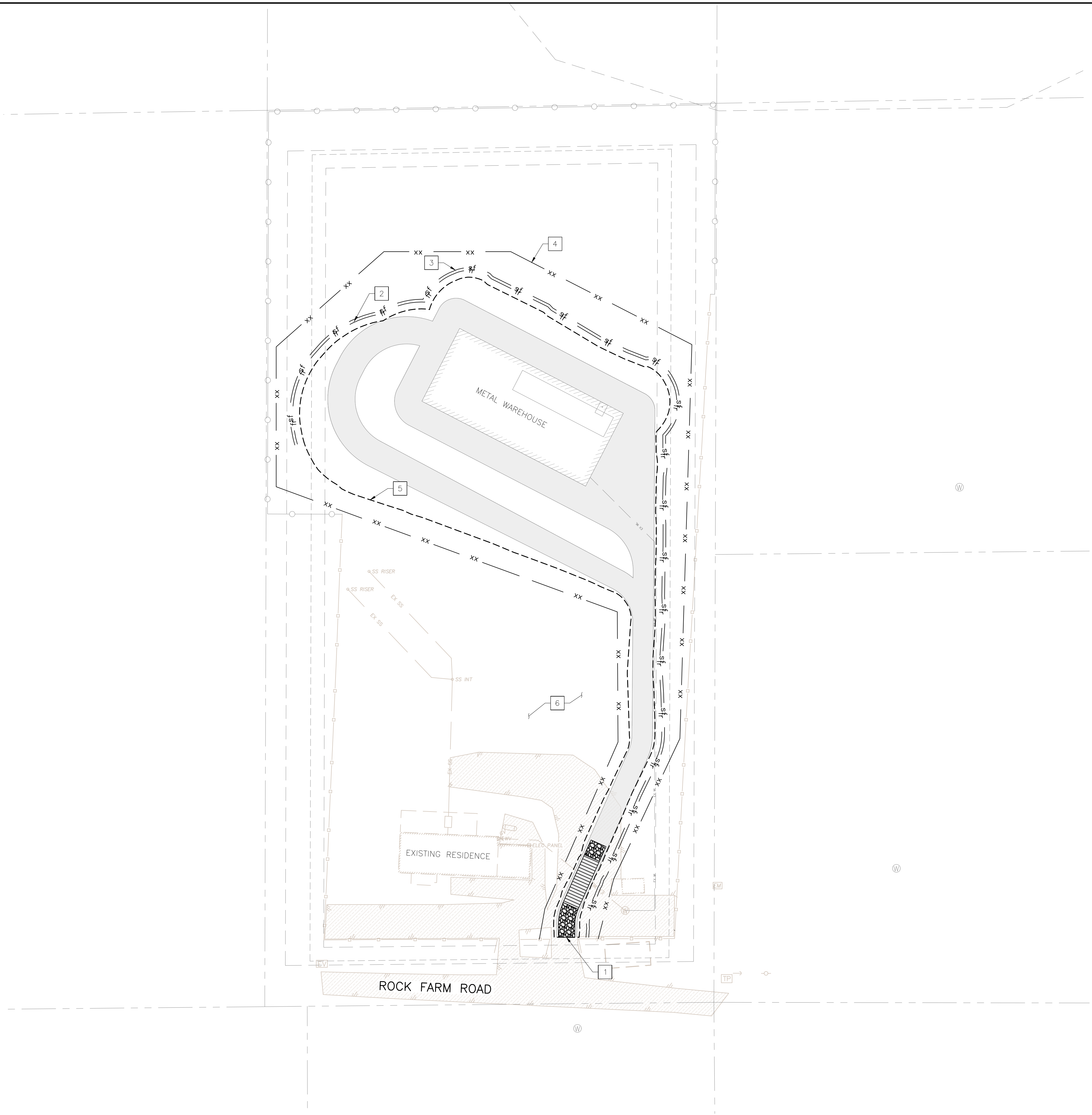
NEVADA



DATE: SEPT. 2023  
 JOB NUMBER: 23055.001  
 DESIGNED BY: CAB  
 DRAWN BY: MEM  
 CHECKED BY: CAB

SHEET  
**C2.1**

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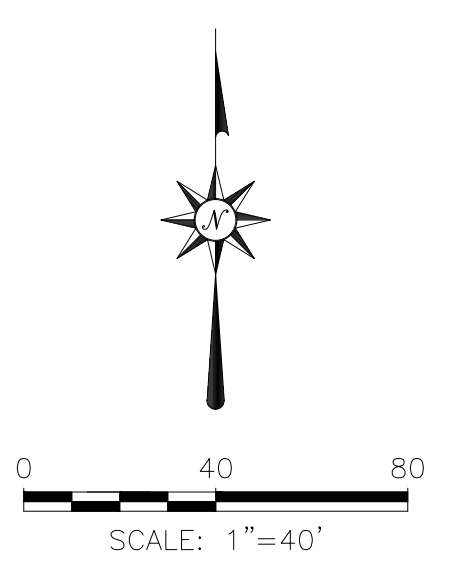
**BMP PLAN**

**SHEET NOTES:**

- 1 INSTALL VEHICLE TRACKING CONTROL, DETAIL 5/D2.0
- 2 799 LF FIBER ROLLS, DETAIL 2/D2.0
- 3 805 LF SILT FENCE, DETAIL 3/D2.0
- 4 1405 LF CONSTRUCTION FENCING, DETAIL 4/D2.0
- 5 DISTURBED AREA
- 6 SOIL STOCKPILE LOCATION AND STORAGE FOR CONSTRUCTION STAGES

**LEGEND:**

- fr FIBER ROLLS
- sf SILT FENCING
- xx CONSTRUCTION FENCING



REV.	DATE	BY	APP'D

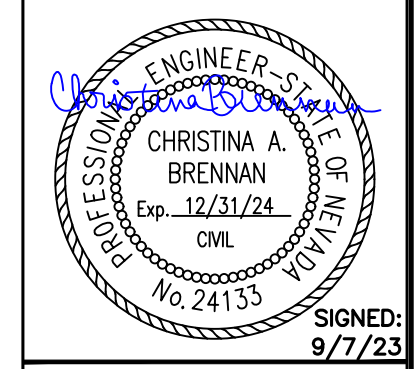
**Reno Tahoe Geo Associates, Inc.**  
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Reno, Nevada 89511

TEL (775)853-9100  
FAX (775)853-9199

**BMP PLAN**  
METAL WAREHOUSE  
5955 ROCK FARM ROAD  
APN: 150-260-19

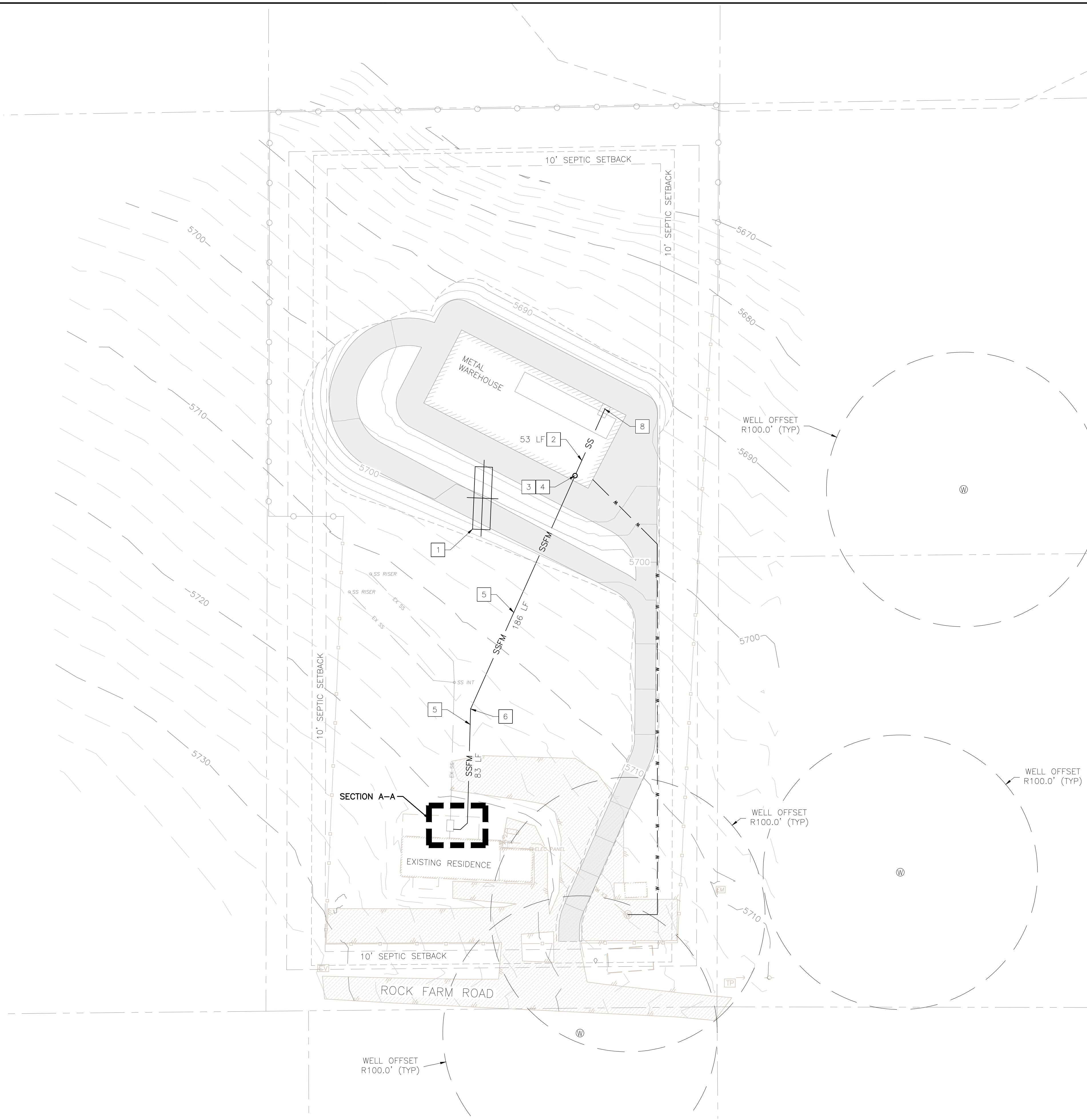
NEVADA  
WASHOE COUNTY



DATE: SEPT. 2023  
JOB NUMBER: 23055.001  
DESIGNED BY: CAB  
DRAWN BY: MEM  
CHECKED BY: CAB

SHEET  
**C3.0**

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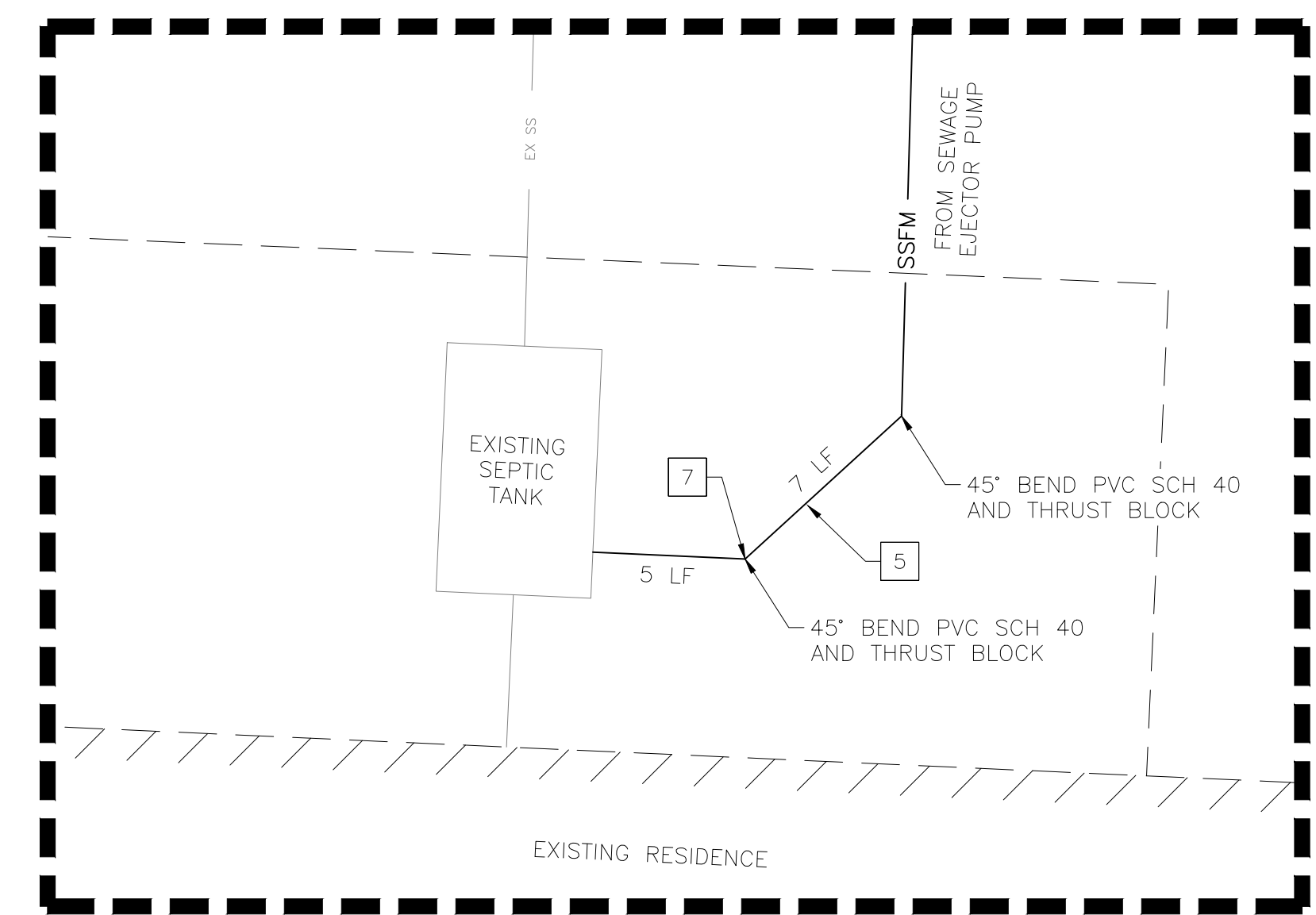
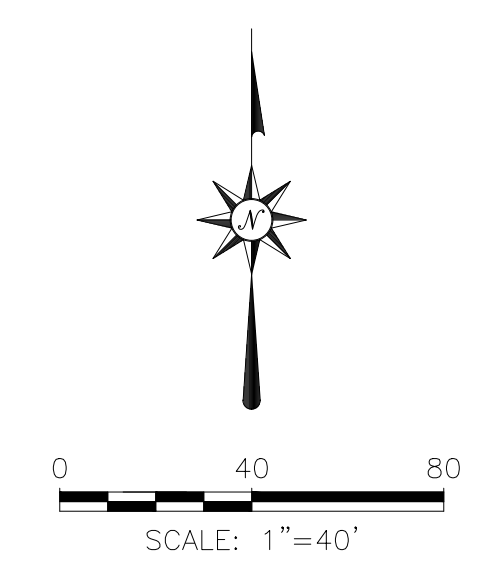
**SEPTIC PLAN**

**SHEET NOTES:**

- 1 PERCOLATION TEST PIT LOCATION, DETAIL 1/D3.0
- 2 4"Ø GRAVITY SEWER SDR-35 PVC (SLOPE 2% MINIMUM), DETAIL 3&4/D3.0
- 3 SEWAGE EJECTOR PUMP, SIMPLEX GOULDS AGS SERIES, MODEL #AGS0511PB SEWAGE GRINDER PUMP, 0.5 HORSEPOWER, 115 VOLTS, 1 PHASE, 2" NPT VERTICAL DISCHARGE, DESIGN POINT @ 30 TDH AND 17.5 GPM PROVIDE PERMANENT POWER PER PUMP MANUFACTURER RECOMMENDATIONS. PROVIDE ALARM AND STROBE AND PUMP CONTROLS TO MAKE A COMPLETE SYSTEM, DETAIL 5/D3.0
- 4 265 GALLON MINIMUM HDPE OR FIBERGLASS SEWER PUMP TANK, LOCATED INSIDE BUILDING OUTSIDE OF TRAFFIC AREAS, DETAIL 5/D3.0
- 5 2"Ø SSFM PVC SCH 40 PIPE, DETAIL 3&4/D3.0
- 6 2"Ø 22.5° BEND PVC SCH 40 AND THRUST BLOCK
- 7 FORCE MAIN TO GRAVITY CONNECTION SEE DETAIL 2/D3.0
- 8 RV DUMP, DETAIL 3/D1.0

**DESIGN AND CONSTRUCTION NOTES:**

- 1) NO PUBLIC SEWER IS AVAILABLE.
- 2) NO DOMESTIC WELLS ARE LOCATED WITHIN 100' OF THE PROPOSED SYSTEM OTHER THAN THOSE WHICH ARE SHOWN.
- 3) WATER SUPPLY WILL BE BY PRIVATE WELL.
- 4) THERE ARE NO WATERCOURSES WITHIN 500' OF THE PROPOSED SYSTEM.
- 5) MINIMUM SLOPES OF SERVICE LINES FROM BUILDING ARE TO BE MAINTAINED AND SET UNIFORM.



**SECTION A-A**

REV.	DATE	BY	APP'D

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CONSULTING CIVIL ENGINEERS

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Reno, Nevada 89511

**SEWAGE DISPOSAL SYSTEM**  
METAL WAREHOUSE  
5955 ROCK FARM ROAD  
APN: 150-260-19

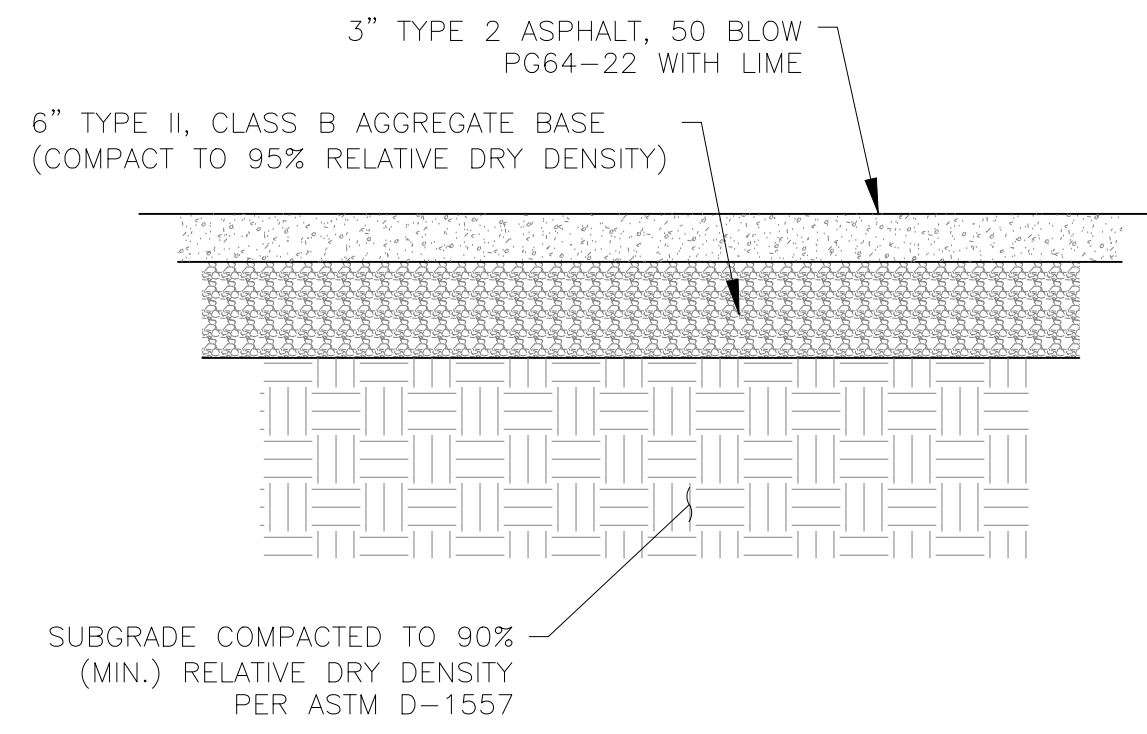
NEVADA  
WASHOE COUNTY

SIGNED: 9/7/23

CHRISTINA A. BRENNAN  
Exp. 12/31/24  
CIVIL ENGINEER  
No. 24133

DATE: SEPT. 2023  
JOB NUMBER: 23055.001  
DESIGNED BY: CAB  
DRAWN BY: MEM  
CHECKED BY: CAB

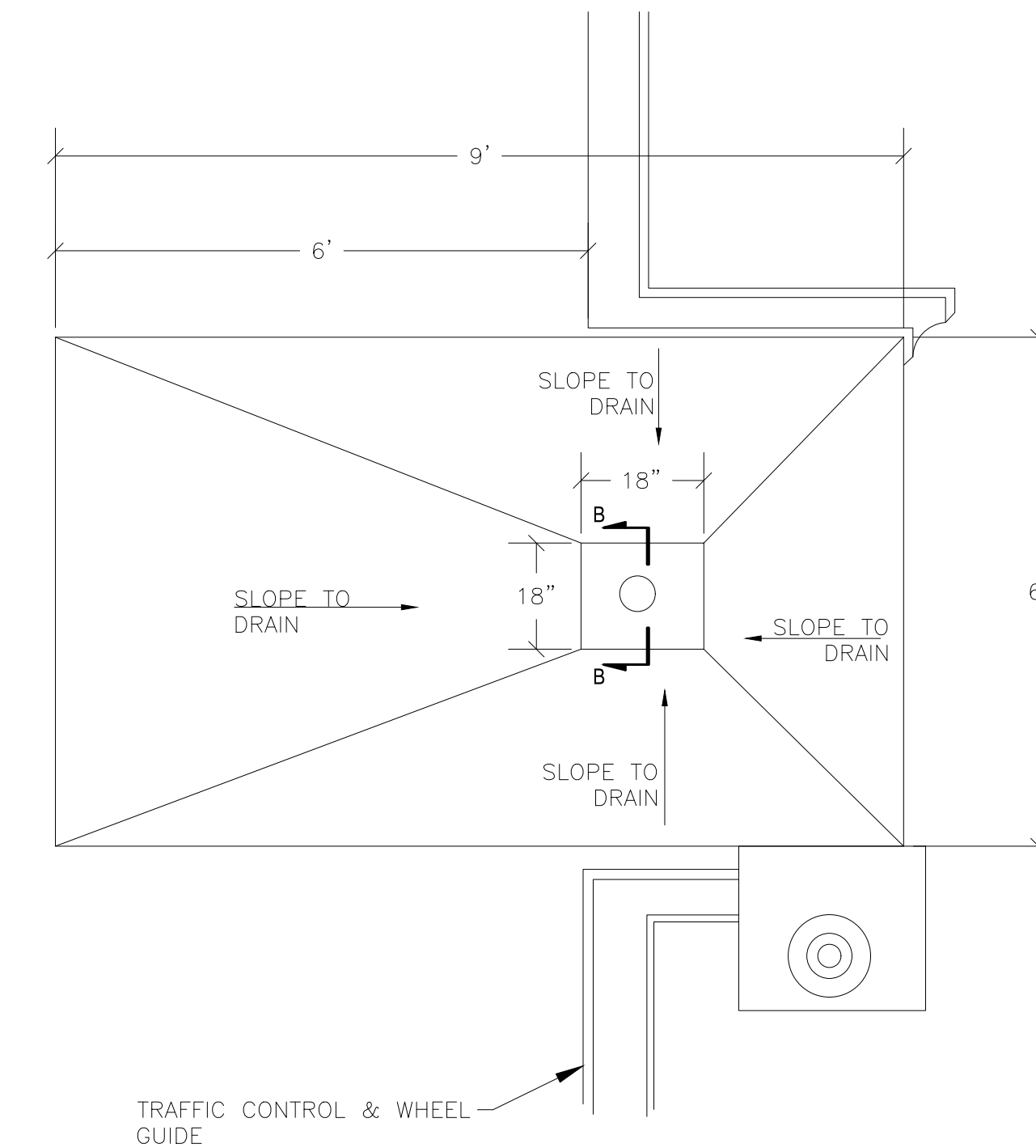
SHEET  
**C4.0**



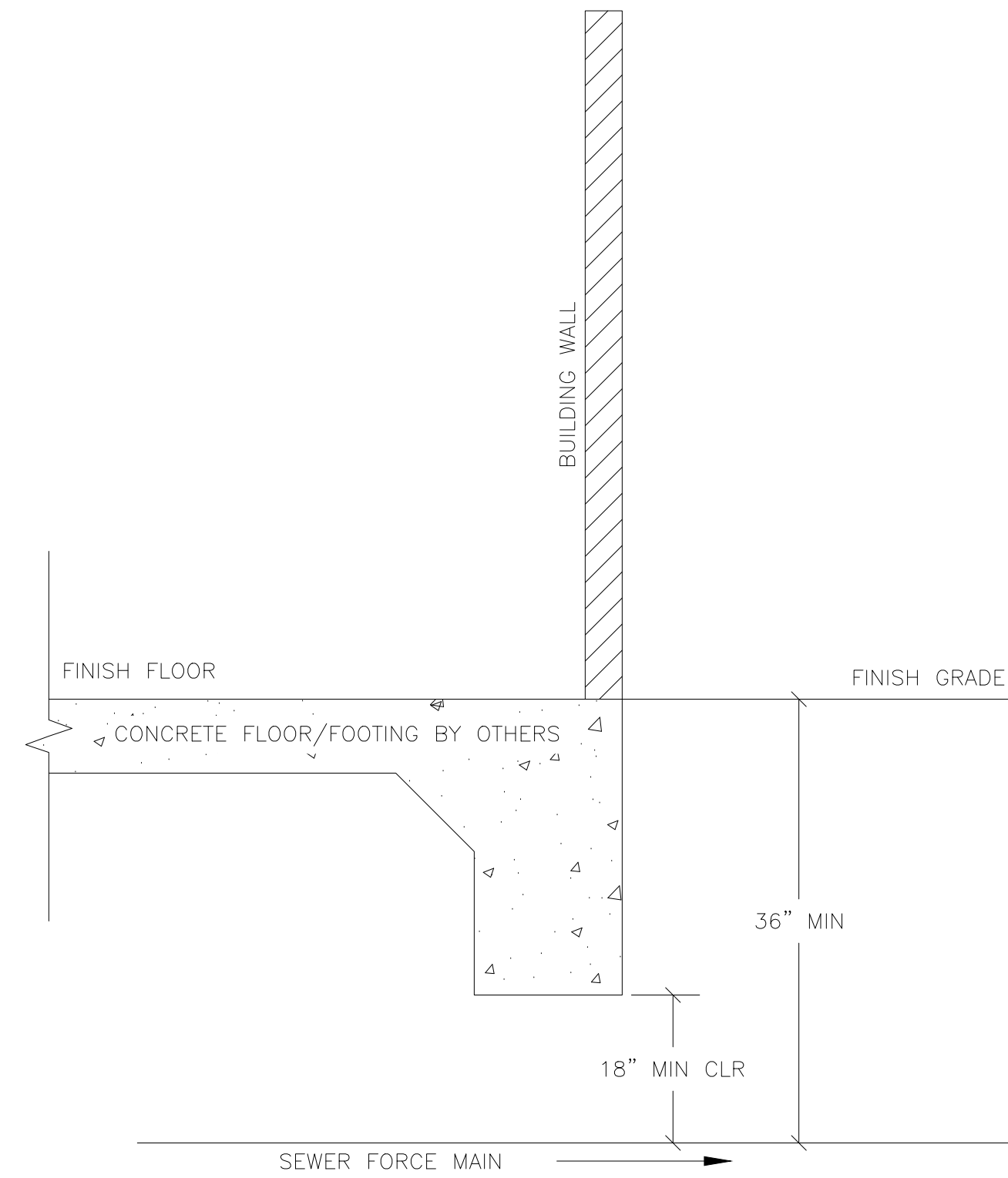
1 DRIVEWAY CROSS SECTION  
D1.0 NOT TO SCALE



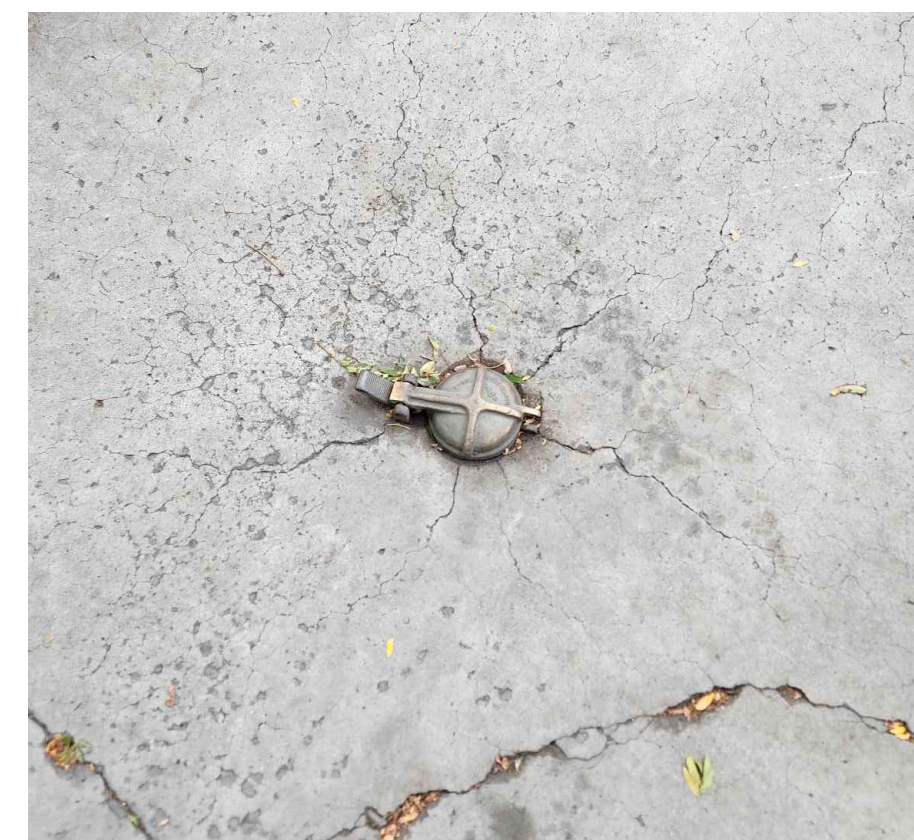
CONCEPTUAL RV\_DUMP\_OVERVIEW



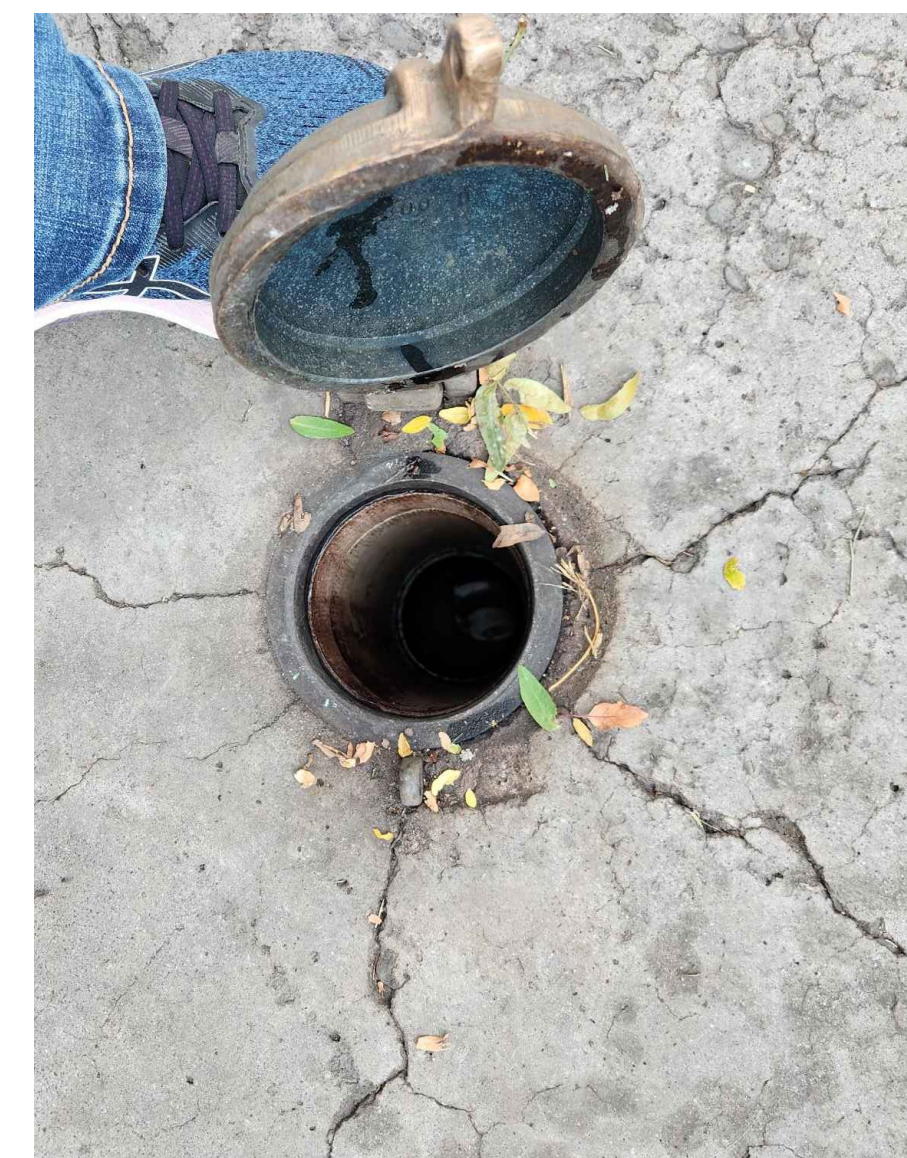
TRAFFIC CONTROL & WHEEL GUIDE



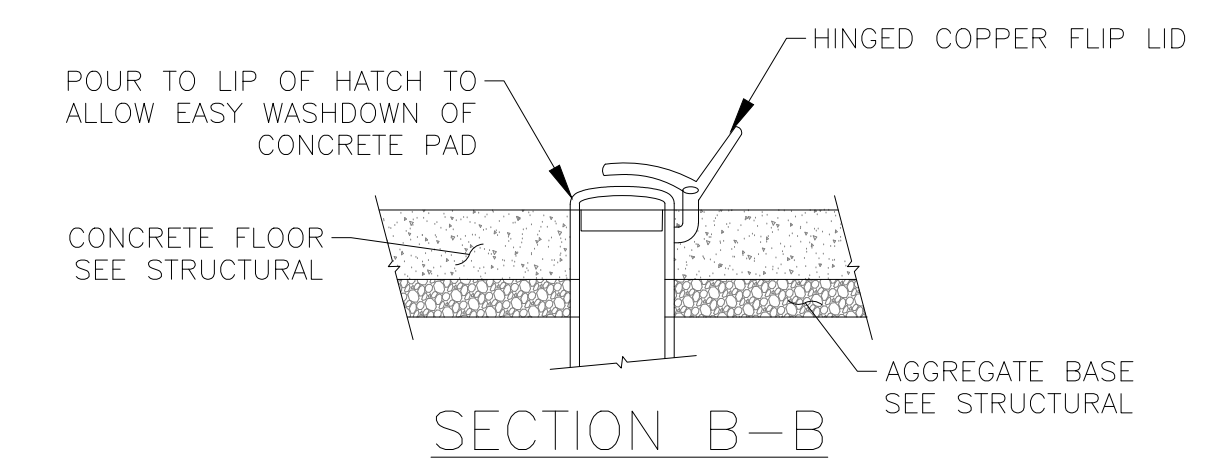
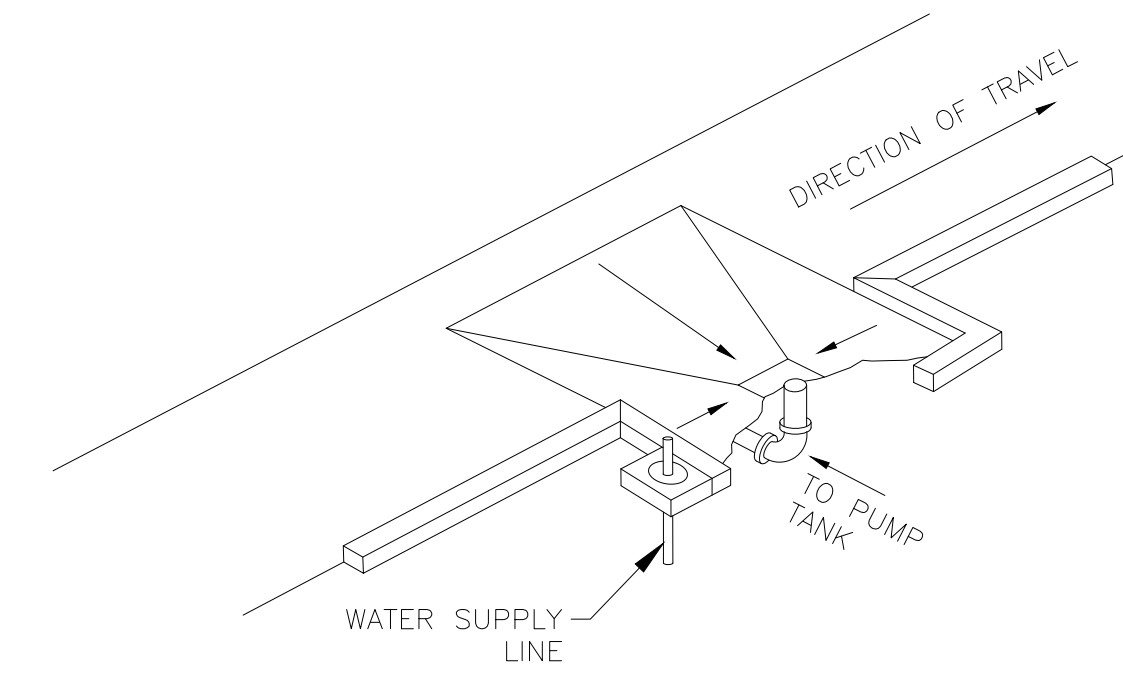
2 PIPE/FOOTING CLEARANCE  
D1.0 NOT TO SCALE



CONCEPTUAL RV\_DUMP\_LID



CONCEPTUAL RV\_DUMP\_OPEN



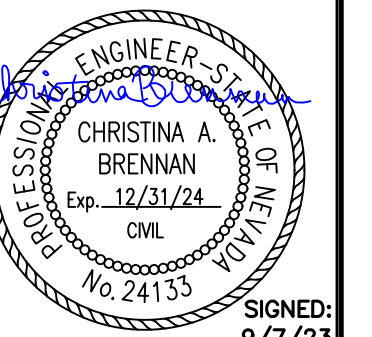
SECTION B-B

3 RV DUMP  
D1.0 NOT TO SCALE

REV.	DATE	BY	APP'D

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Reno, Nevada 89511  
TEL (775)853-9100  
FAX (775)853-9199

**SITE DETAILS**  
METAL WAREHOUSE  
5955 ROCK FARM ROAD  
APN: 150-260-19  
NEVADA  
WASHOE COUNTY

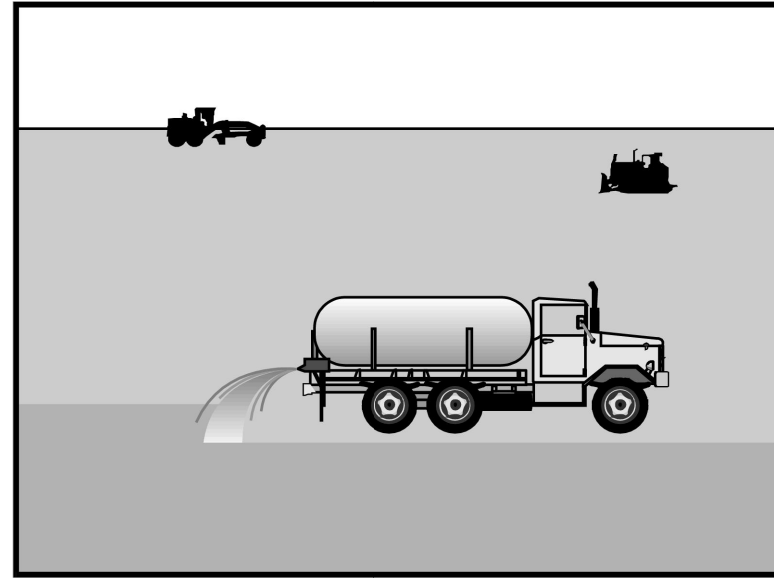


DATE: SEPT. 2023  
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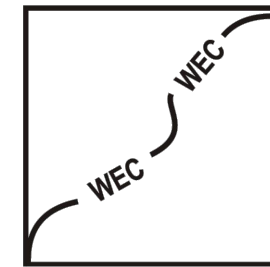
SHEET  
D1.0

**Wind Erosion and Dust Control**

**EC-5**



Graphics used with permission of Caltrans



Map Symbol

**Purpose:** Storm water runoff, wind, erosion, and vehicle trackout from construction sites can re-disperse sediments to the air by high winds and traffic. Therefore, the purpose of dust control is to minimize these effects.

- Applications:**
- All construction sites having exposed soils must perform dust control measures.
  - Wind erosion and dust control is important in arid and windy regions.
  - Areas with soils with fine particles (silts and clay) are more prone to dust if the surface is disturbed.
  - Dust control is a permanent or treatment between but must be adequate upon project completion.
  - Dust control methods can help to minimize pollutants in the storm drain system, are generally inexpensive.
  - Wind fence (snow fence) are applicable in arid regions where large areas of cleared land are susceptible to blowing sand and dust.

- Limitations:**
- During construction dust control measures are only temporary and may require reapplication.
  - Incorrect usage of chemical stabilizers can have adverse effects on water quality.

Truckee Meadows Regional Storm Water Quality Management Program  
Construction Site Best Management Practices Handbook, February 2015 Update  
Section 8 – Erosion Control BMPs

Page 8-11

**Wind Erosion and Dust Control EC-5**

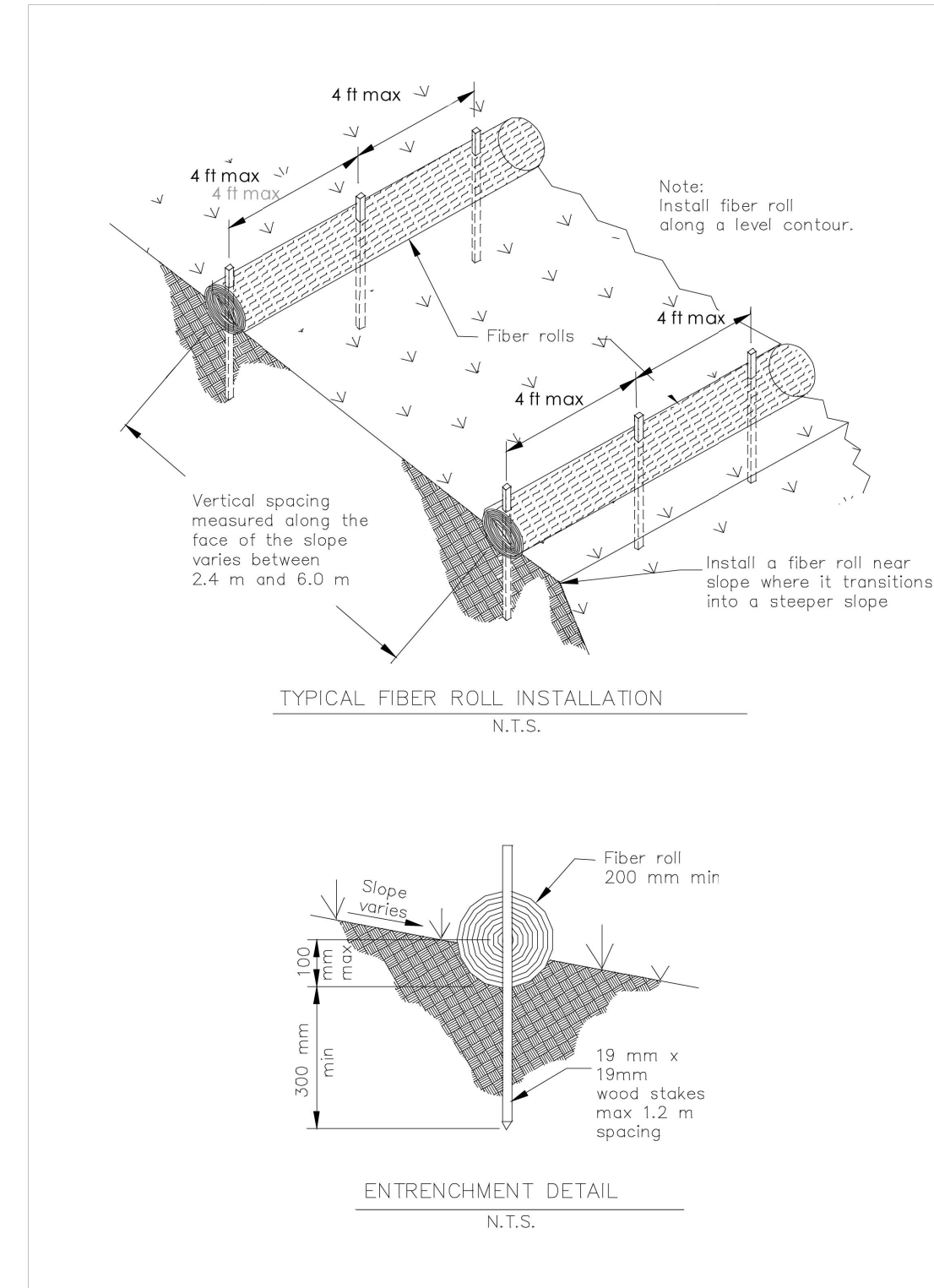
**Standards and Specifications:**

- Discharges from the site can occur if excessive water is applied resulting in runoff.
- Factors such as soil type, temperature, humidity, and wind velocity will impact the effectiveness of the dust control measures.
- Wind fences do not control sediment carried in storm water runoff. Install additional sediment and erosion control measures to capture sediment in runoff (see Section 9).
- Follow District Health Department standards and specifications when applying dust control measures at construction sites.
- Wind fences are barriers made of small, evenly spaced wooden slats or fabric. They are erected to reduce wind velocity and to trap blowing sand.
- Erect wind fences perpendicular to the prevailing wind source. Multiple fences may be erected to help prevent wind erosion. Software packages are available to assist with proper design.
- Reduce disturbance of soil crust.
- Other techniques used to control and minimize dust include the application of coarse gravel.
- Magnesium chloride, resins, and lignin sulfonate may be used on roads where revegetation will not occur as these products inhibit plant establishment.
- Application**
  - Moistening road surfaces is an effective dust control method for traffic routes.
  - This technique is short term and requires constant reapplication especially in windy areas.
  - Apply 0.03 - 0.3 gal/yd<sup>2</sup> uniformly to pre-wet the soil surface.
  - Apply 0.125 gal/yd<sup>2</sup> every 20-30 minutes.
  - Reactivate chemicals in dry climates by rewetting with 0.1 - 0.2 gal/yd<sup>2</sup>.
  - Avoid ponding.
  - Use a pressure-type distributor or a pipeline equipped with a spray system to evenly distribute water for dust control.
  - Provide a positive means to shutoff distribution equipment.
  - Provide at least one water truck or hydroseeder to apply water or dust palliative to the construction site.
  - If non-potable water is used for dust control, all tanks, pipes, and other conveyances shall be clearly marked with "NON-POTABLE WATER – DO NOT DRINK".

Truckee Meadows Regional Storm Water Quality Management Program  
Construction Site Best Management Practices Handbook, February 2015 Update  
Section 8 – Erosion Control BMPs

Page 8-12

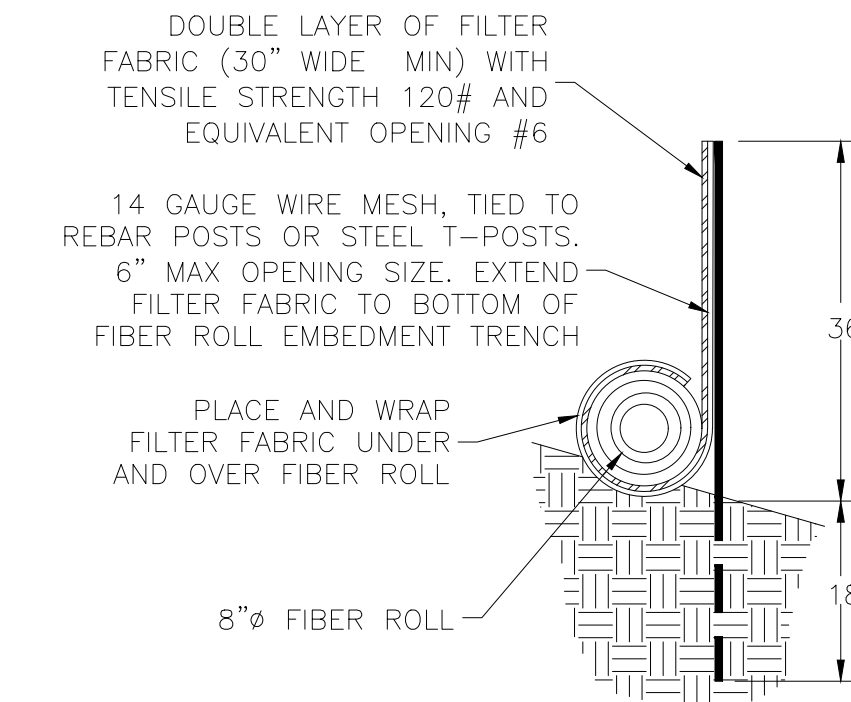
**Fiber Rolls SC-1**



Graphic adapted and used with permission of Caltrans.

Truckee Meadows Regional Storm Water Quality Management Program  
Construction Site Best Management Practices Handbook, February 2015 Update  
Section 9 – Sediment Control BMPs

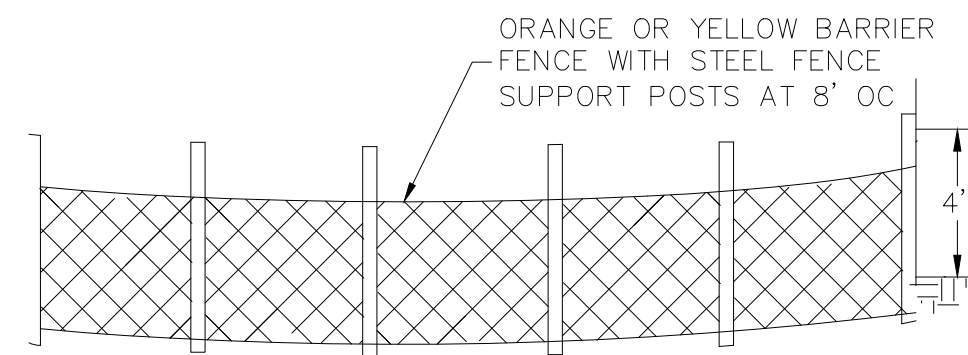
Page 9-5



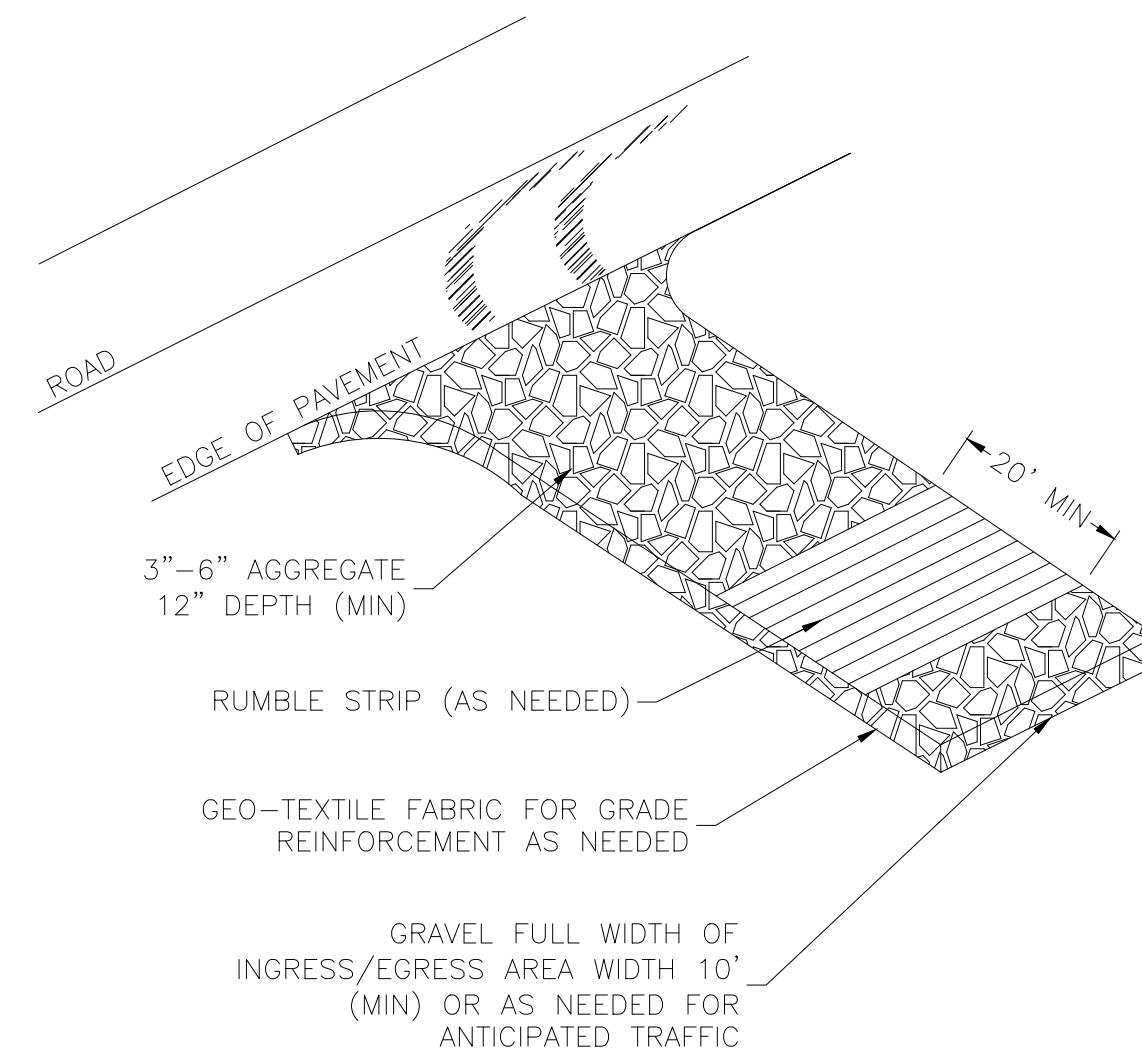
**1 WIND EROSION AND DUST CONTROL**  
D2.0 NTS

**2 FIBER ROLL**  
D2.0 NTS

**3 SILT FENCE**  
D2.0 NTS



**4 TEMPORARY CONSTRUCTION FENCING**  
D2.0 NTS



**5 VEHICLE TRACKING CONTROL**  
D2.0 NTS

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FAX (775)853-9199

**BMP DETAILS**  
METAL WAREHOUSE  
5955 ROCK FARM ROAD  
APN: 150-260-19



SIGNED: 9/7/23  
DATE: SEPT. 2023  
JOB NUMBER: 23055.001  
DESIGNED BY: CAB  
DRAWN BY: MEM  
CHECKED BY: CAB

SHEET  
**D2.0**

TEST PIT NO.: <u>1</u>	SET UP: <u>06/08/2021</u>
TEST NO.: <u>1</u>	RUN: <u>06/09/2021</u>
DIMENSIONS: <u>6" Wide X 12" Deep</u>	FIELD TECH: <u>D. PELHAM</u>
SOIL TESTED: <u>SILTY SAND with GRAVEL (SM)</u>	

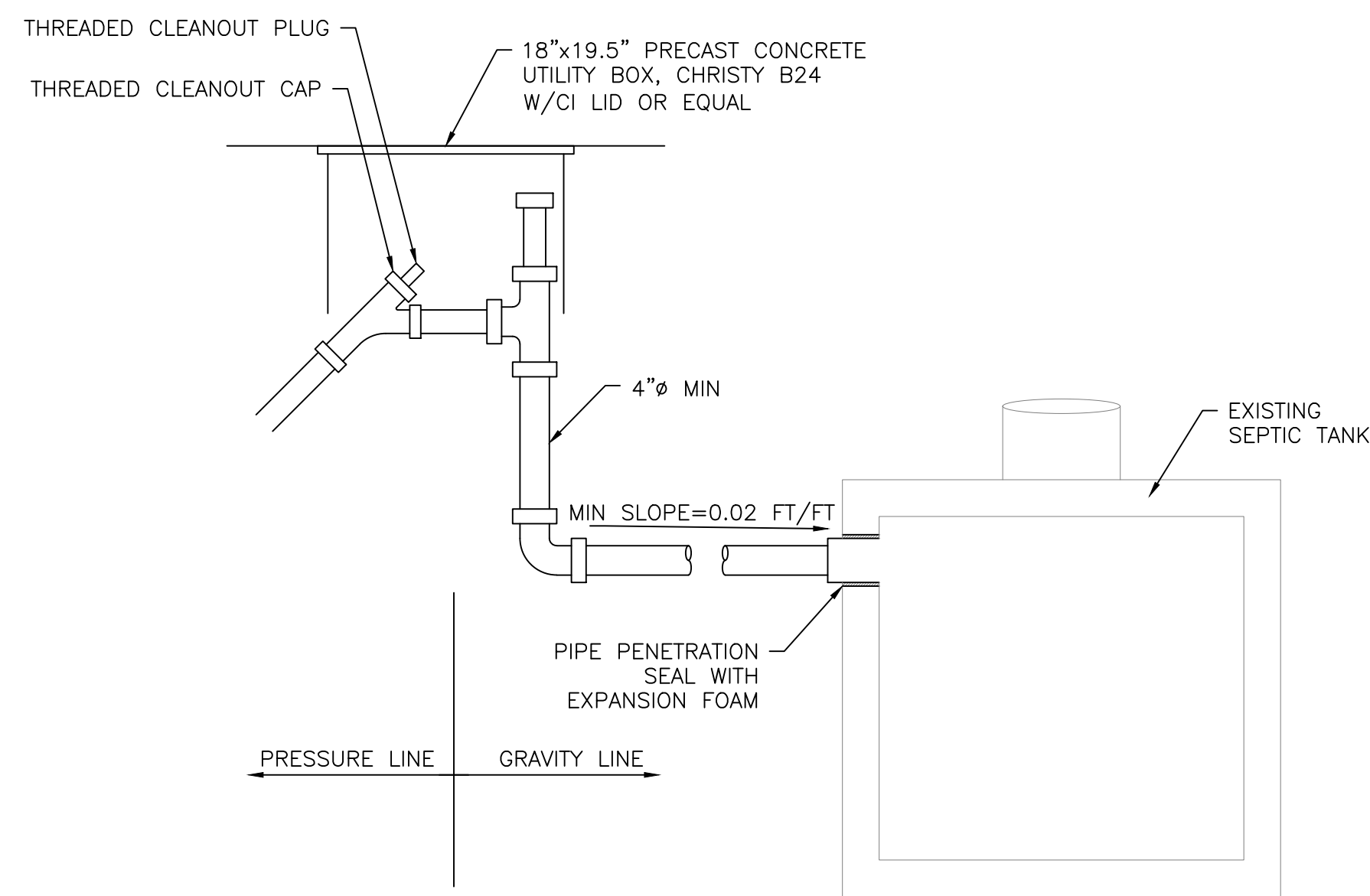
  

LOG		
TIME (hours:minutes)	MEASURED DROP (inches)	REMARKS
	START TEST	Initial Water Added, IAW 090.060
0:30	$7\frac{1}{8}"$	Proceed, IAW 090.085
0:30	$3\frac{3}{4}"$	
0:30	$3\frac{1}{4}"$	
0:30	$3\frac{1}{4}"$	Terminate, IAW 090.085
PERCOLATION RATE: 40 Minutes Per Inch		
DEPTH TEST PERFORMED: 7 Feet		
PIT EVALUATED BY: D. PELHAM		

depth (feet)	DESCRIPTION
1	DARK BROWN, MOIST, MEDIUM DENSE, COARSE SAND (SC) WITH GRAVEL UP TO 2"
2	
3	
4	
5	YELLOWISH-BROWN, SLIGHTLY-MOIST, VERY DENSE, FINE-COARSE SAND (SM) WITH GRAVEL
6	GRAYISH-BROWN, SLIGHTLY-MOIST, VERY DENSE, FINE-COARSE SAND (SM) WITH SOME CEMENTATION
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	TERMINATED AT 13FT
19	NO GROUNDWATER ENCOUNTERED

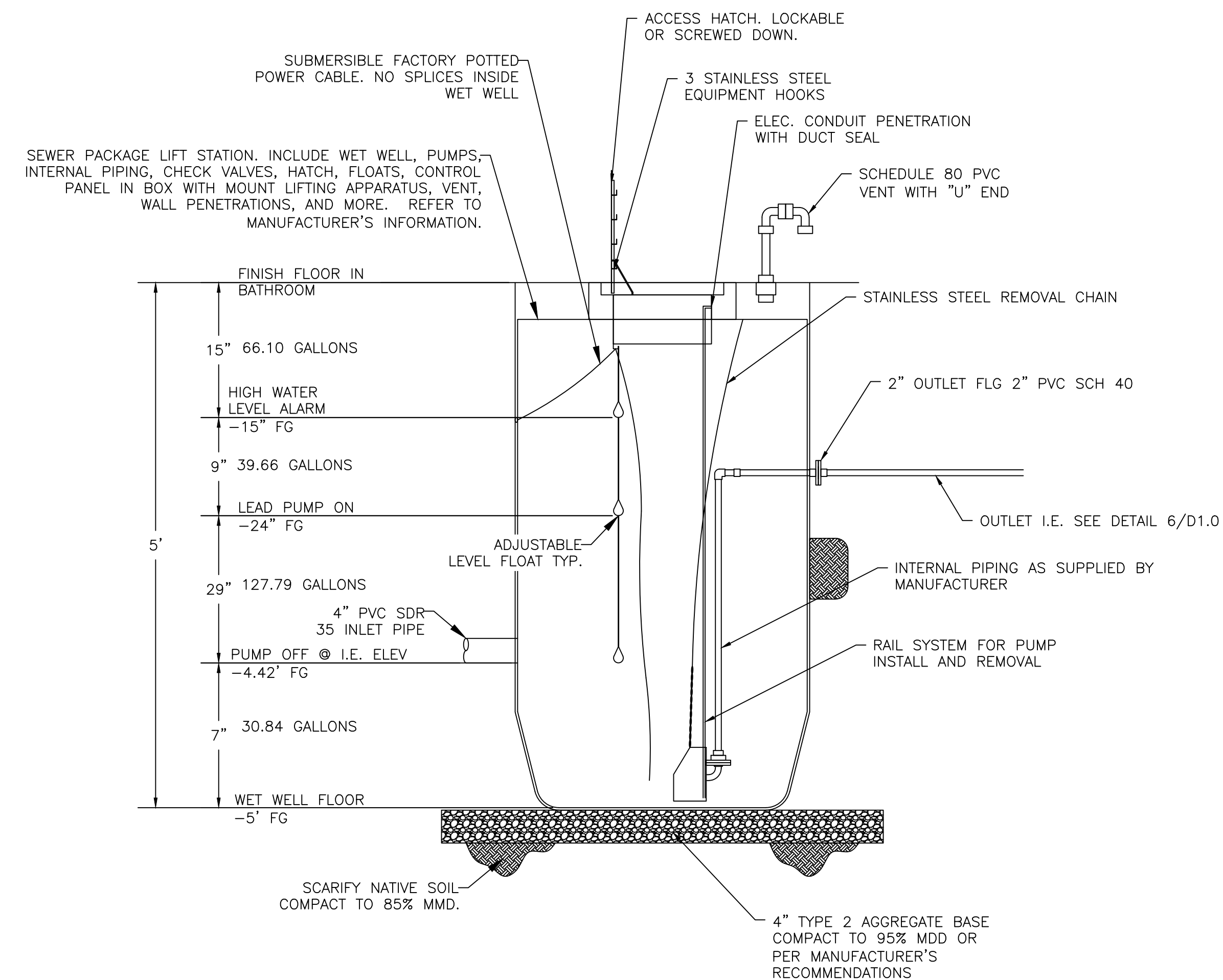
**1** PERCOLATION TEST PIT RESULTS NOT TO SCALE  
D3.0



**NOTES:**

DISCHARGE LINE: THE PRESSURE PORTION OF THE DISCHARGE LINE SHALL INCLUDE A CHECK VALVE, GATE VALVE AND FLEXIBLE COUPLINGS AND SHALL BE A MINIMUM 3/4" DIAMETER LARGER THAN THE PUMP DISCHARGE. ALL PIPE, VALVES AND COUPLINGS SHALL CONFORM TO THE STANDARD SPECIFICATIONS. THE GRAVITY PORTION OF THE DISCHARGE LINE SHALL BE FOUR (4) INCH MINIMUM DIAMETER PIPE, SHALL MEET THE COUNTY REQUIREMENTS FOR SIDE SEWERS AND SHALL PROVIDE A MINIMUM TWELVE (12) INCH VERTICAL DROP AT THE JUNCTION WITH THE PRESSURE LINE.

**2** SSFM TO GRAVITY SEWER NOT TO SCALE  
D3.0

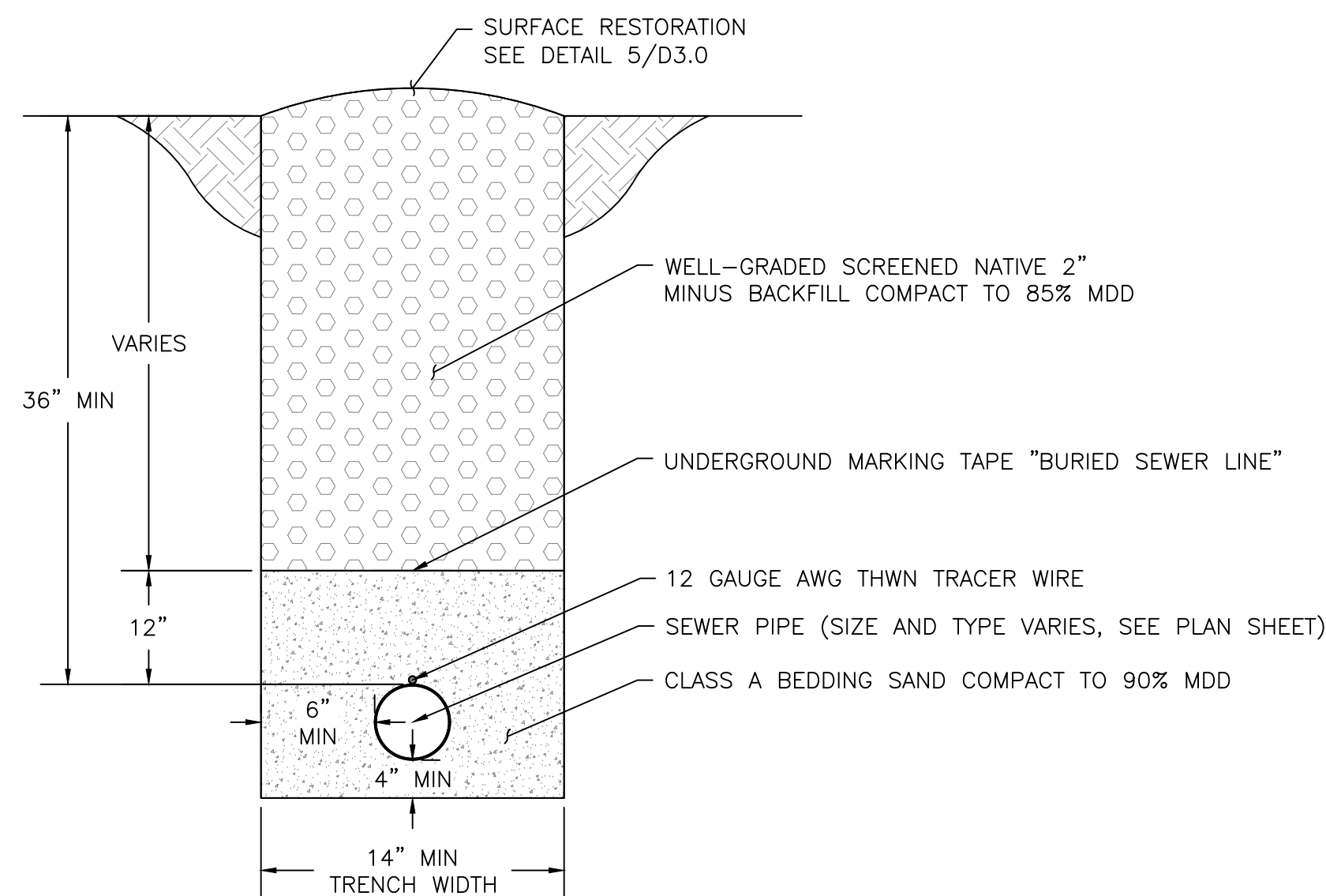


**GENERAL NOTES**

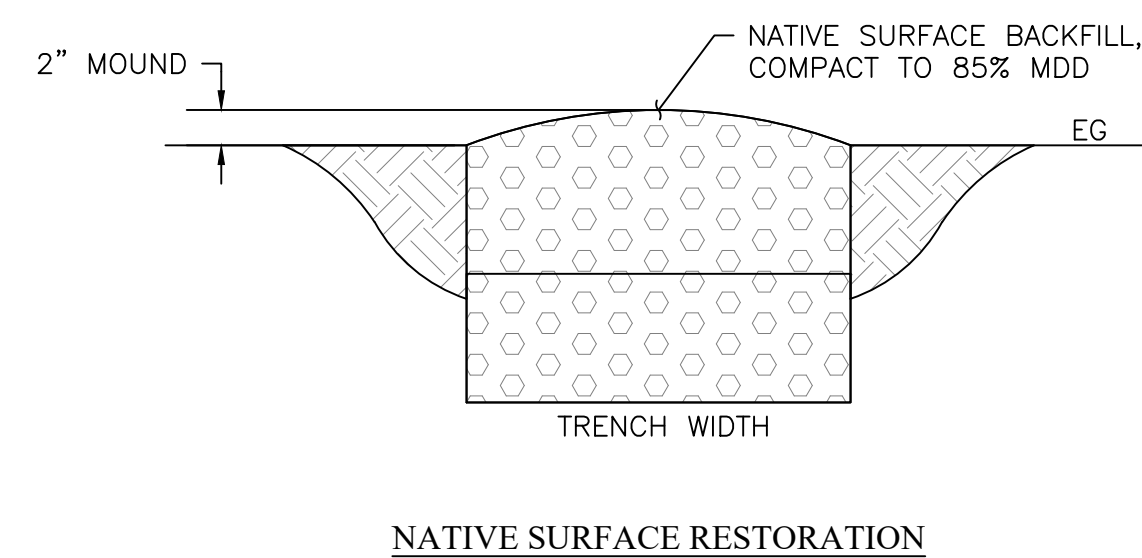
- SET FLOATS CONTROL POINTS AS NECESSARY IN CONSULTATION WITH MANUFACTURER/SUPPLIER.
- WET WELL TOTAL VOLUME APPROXIMATELY 265 GALLONS
- STATION TOP WITH ACCESS COVER, CABLE TRAY, WET WELL VENT, AND ANCHOR INSERTS FOR DISCONNECT PANEL AND PUMP HOIST. WET WELL TOP SLABS ARE PEDESTRIAN RATED.
- FOLLOW OSHA PRACTICES WHEN WORKING IN CONFINED SPACES.
- CONTRACTOR SHALL PERFORM LEAK TESTING OF PUMP DISCHARGE PIPING AT 1.5 TIMES WORKING PRESSURE FOR A DURATION OF ONE HOUR. CONTRACTOR SHALL SUPPLY ALL FITTINGS, PUMPS, AND OTHER EQUIPMENT NECESSARY TO PERFORM THE TEST.
- INSTALLATION MUST BE PLUMB AND LEVEL.

**LIFT STATION DESIGN DATA**

- GOULDS SEWAGE GRINDER PUMP WITH LIFT STATION PACKAGE INCLUDING INTERNAL VALVES, PIPING, AND GUIDE RAILS, READY FOR SERVICE.
- INCLUDES CONTROL PANEL AND 3 FLOATS
- 115V
- 0.5 HORSEPOWER MOTOR
- PASSES UP TO 2" SOLID
- ONE PUMP IN SIMPLEX CONFIGURATION IN SYSTEM DEPICTED ON THIS SHEET:
  - ~17.5 GPM @ ~30 FT TDH SIMPLEX OPERATION
  - 265 GALLON WET WELL - CONFIRM WITH MFR
  - WET WELL DEPTH: 5 FEET - CONFIRM WITH MFR
- CONSULT PUMP AND LIFT STATION PACKAGE MANUFACTURER REGARDING CONTROL SET POINTS.



**3** SEWER LINE TRENCH DETAIL NOT TO SCALE  
D3.0

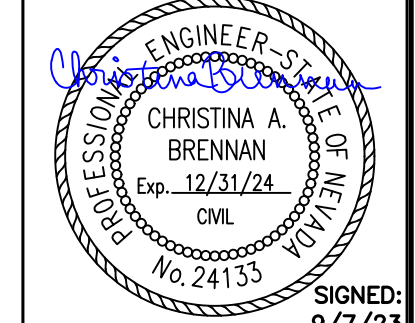


**4** TRENCH SURFACE RESTORATION NOT TO SCALE  
D3.0

**5** CONCEPTUAL SEWAGE EJECTOR PUMP NOT TO SCALE  
D3.0

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**SEPTIC DETAILS**  
METAL WAREHOUSE  
5955 ROCK FARM ROAD  
APN: 150-260-19



DATE: SEPT. 2023  
JOB NUMBER: 23055.001  
DESIGNED BY: CAB  
DRAWN BY: MEM  
CHECKED BY: CAB

SHEET  
**D3.0**

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