

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets <b>AND</b> area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:                      Fax:		Phone:                      Fax:	
Email:		Email:	
Cell:                              Other:		Cell:                              Other:	
Contact Person:		Contact Person:	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:                      Fax:		Phone:                      Fax:	
Email:		Email:	
Cell:                              Other:		Cell:                              Other:	
Contact Person:		Contact Person:	
<b>For Office Use Only</b>			
Date Received:                      Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

# Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

--

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

--

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

--

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

--

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

--

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please list the HOA name.
------------------------------	-----------------------------	-----------------------------------

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please attach a copy.
------------------------------	-----------------------------	-------------------------------

9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please provide information on the secondary unit.
------------------------------	-----------------------------	---

10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service		
Electrical Service		
Solid Waste Disposal Service		
Water Service		

Property Owner Affidavit

Applicant Name: Clifford A Scheffel

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )  
COUNTY OF WASHOE )

I, Clifford A Scheffel  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 222-072-01

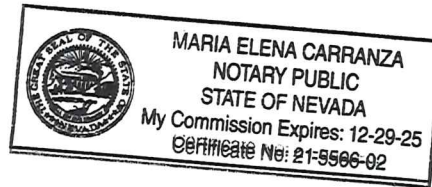
Printed Name Clifford A Scheffel  
Signed Cliff Scheffel  
Address 2320 Kinney Ln, Reno

[Signature]  
(Notary Stamp)

Subscribed and sworn to before me this 27<sup>th</sup> day of April, 2022.

Washoe County, Nevada  
Notary Public in and for said county and state

My commission expires: 12-29-25



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Property Owner Affidavit

Applicant Name: Gayle Rydinski

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )  
COUNTY OF WASHOE )

I, Gayle Rydinski  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 222-072-01

Printed Name Gayle Rydinski

Signed [Signature]

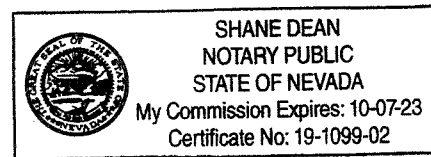
Address 2320 Kinney Ln  
 Reno NV 89511

Subscribed and sworn to before me this 27<sup>th</sup> day of April, 2022.

(Notary Stamp)

[Signature] Washoe County, Nevada  
Notary Public in and for said county and state

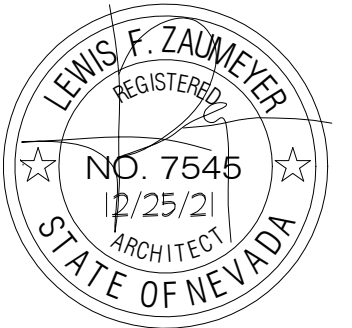
My commission expires: 10-07-2023



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship



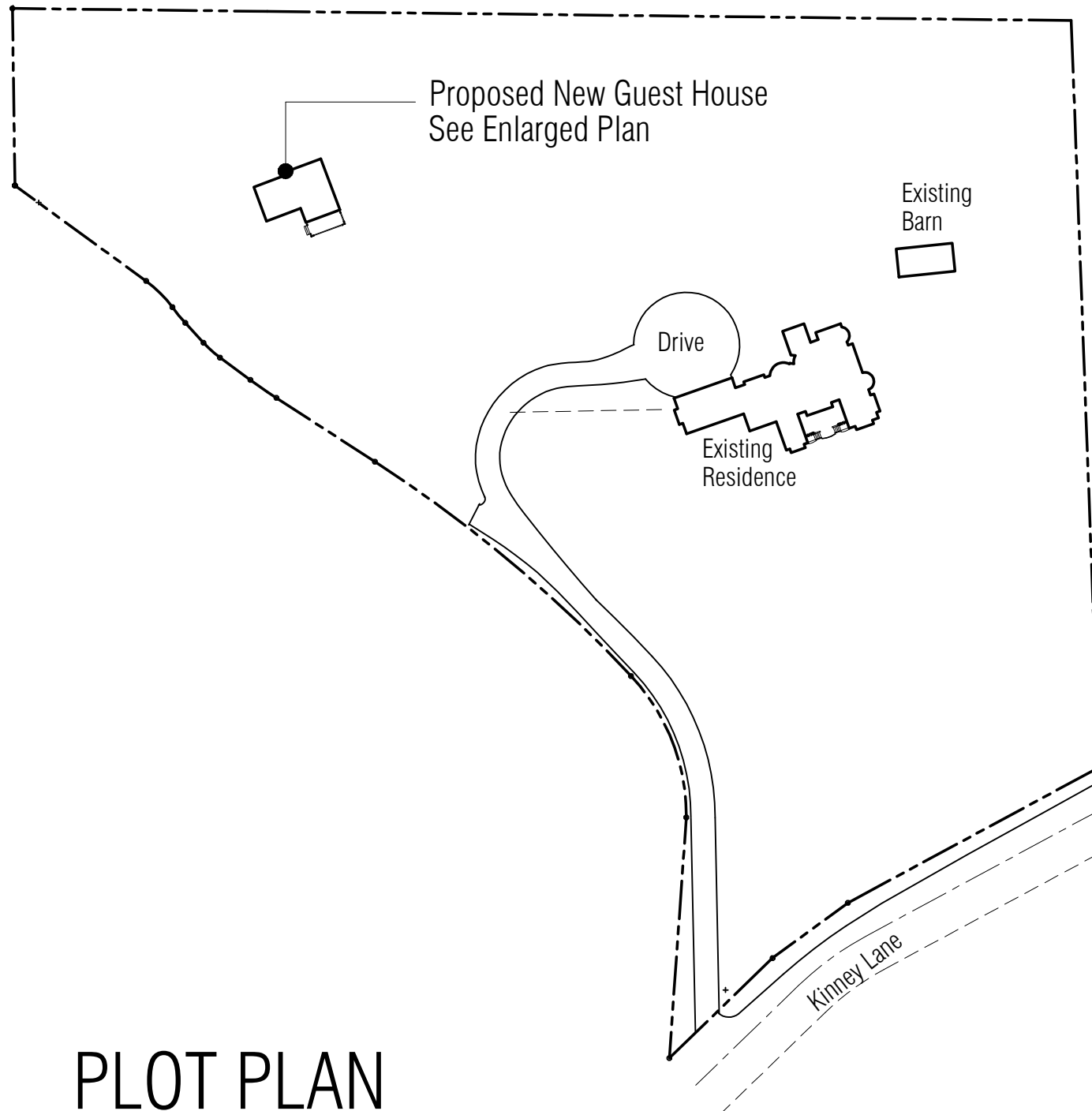
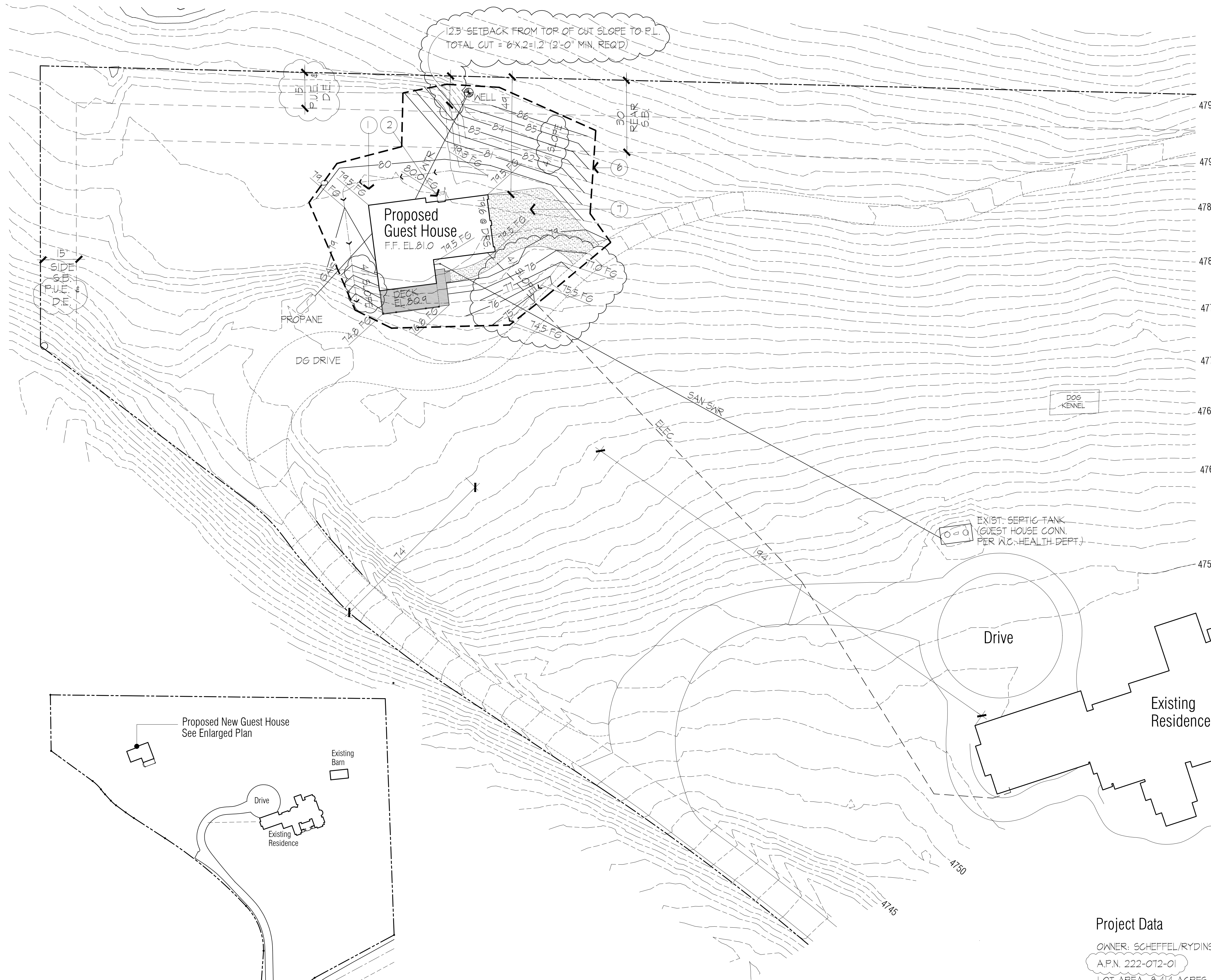


### Grading Notes & Legend

- EXISTING CONTOUR
- 80 —— NEW CONTOUR

#### NOTES:

1. EXTERIOR GRADE TO SLOPE AWAY FROM FOUNDATION AT 5% FOR 10'-0" MIN.
2. 4" CONC. LANDING - 3'-0" SQ.
3. NO CUT OR FILL SLOPES SHALL BE STEEPER THAN 3H/1V PER WASHOE CO. CODE 438.45(a).
4. PERPETUATE EXISTING NATURAL DRAINAGE PATTERNS.
5. DISTURBED GRADING AREA = 6,300 SF  
CUT QUANTITY = 80 CY  
FILL QUANTITY = 80 CY
6. LIMITS OF GRADING ACTIVITY.  
SEED AND IRRIGATE ALL DISTURBED AREAS WITH PASTURE GRASS TO MATCH EXISTING.
7. D.G. DRIVE & PATH



### PLOT PLAN

SCALE: 1" = 100'

### PARTIAL SITE PLAN

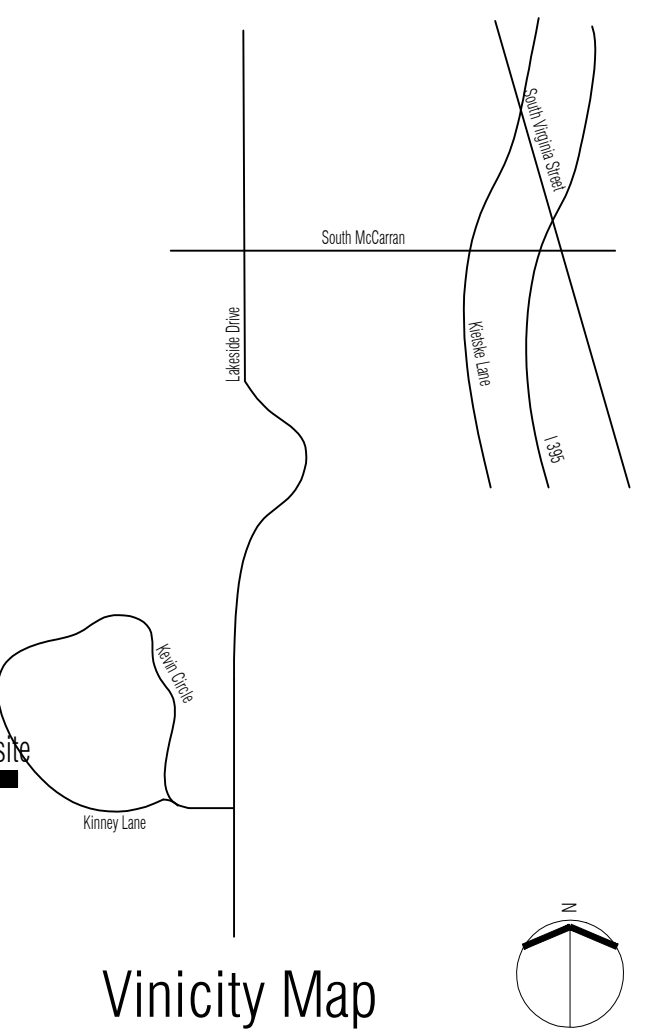
SCALE: 1" = 20'

### Project Data

OWNER: SCHEFFEL/RYDINSKI LIVING TRUST  
A.P.N. 222-012-01  
LOT AREA 8.414 ACRES  
GUEST HOUSE -  
LIVABLE AREA 805 SF  
GARAGE AREA 586 SF  
COVERED DECK 240 SF

### Sheet Index

1. TITLE SHEET/SITE PLAN
2. FLOOR PLAN
3. ELEVATIONS
4. SECTION / ROOF PLAN
5. ELECTRICAL FLOOR PLAN
6. FOUNDATION PLAN  
ROOF FRAMING PLAN
- SD-1 STRUCTURAL DETAILS
- SD-2 STRUCTURAL DETAILS
- M2.0 MECHANICAL PLAN  
LINE DIAGRAM



# SCHEFFEL GUEST HOUSE

2320 KINNEY LANE  
WASHOE CO, NEVADA

DATE:	12/15/21
SCALE:	1" = 20'
DESIGNED BY:	LFZ
DRAWN BY:	LFZ
APPROVED BY:	LFZ
PROJECT NUMBER:	

### SITE PLAN

SHEET NUMBER:	1	REVISION:	
---------------	---	-----------	--

### Code Analysis

THE PROJECT IS A DETACHED SINGLE FAMILY DWELLING WITH AN ATTACHED GARAGE.

THE PROJECT SHALL FALL UNDER & COMPLY WITH ALL APPLICABLE CODES ADOPTED BY WASHOE COUNTY NV, INCLUDING BUT NOT LIMITED TO:

- 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2018 IECC ENERGY CODES
- 2018 UNIFORM PLUMBING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE
- 2018 NFPA 54 & 58 CODE
- 2018 NATIONAL ELECTRICAL CODE

2018 INTERNATIONAL RESIDENTIAL CODE (IRC) PARTIAL COMPLIANCE VERIFICATION:  
(APPLICABLE SECTIONS NOT MENTIONED SHALL CONFORM AS REQUIRED BY THE CODE SECTION AND AS OTHERWISE INDICATED ON PLANS)

- SECTION 301 DESIGN CRITERIA  
REFER TO STRUCTURAL NOTES & CALC'S FOR STRUCTURAL DESIGN CRITERIA.
- SECTION 302 FIRE RESISTANT CONSTRUCTION  
TABLE 302.1(1) EXTERIOR WALLS - WALLS GREATER THAN 5' FIRE SEPARATION, NOT FIRE RATED.  
TABLE 302.6 DWELLING-GARAGE SEPARATION - HABITABLE ROOMS SEPARATED FROM GARAGE W/ 5/8 GYP. BOARD.  
SECTION 302.13 FIRE PROTECTION OF FLOORS, EXCEPTION 2. - PROTECTION NOT REQUIRED FOR FLOORS OVER CRAWL SPACE.
- SECTION 303 LIGHT, VENTILATION AND HEATING  
SECTION 303.1 HABITABLE ROOMS  
LIVING/KITCHEN 449 SF X .08 = 36 SF GLAZED AREA REQ'D / 250 SF PROVIDED  
449 SF X .04 = 18 SF NATURAL VENT AREA REQ'D / 44 SF PROVIDED  
BEDROOM 252 SF X .08 = 20 SF GLAZED AREA REQ'D / 55 SF PROVIDED  
252 SF X .04 = 10 SF GLAZED AREA REQ'D / 21.5 SF PROVIDED  
SECTION 303.3 BATHROOMS, EXCEPTION - ARTIFICIAL LIGHTING & EXHAUST FAN PROVIDED.
- SECTION 304 MINIMUM ROOM AREAS - THE MINIMUM ROOM AREAS FOR EACH SECTION ARE EXCEEDED.
- SECTION 305 CEILING HEIGHT - THE MINIMUM CEILING HEIGHT FOR EACH SECTION ARE EXCEEDED.
- SECTION 306 SANITATION - THE MINIMUM PLUMBING FIXTURES, DISPOSAL & WATER SUPPLY REQUIREMENTS ARE PROVIDED.
- SECTION 307 TOILET, BATH AND SHOWER SPACE - THE MINIMUM CLEARANCE DIMENSIONS FOR EACH FIXTURE ARE EXCEEDED.
- SECTION 308 GLAZING - TEMPERED GLASS LOCATIONS ON PLAN REFERENCED (TEMP) TO MEET ALL REQUIREMENTS OF THIS SECTION.
- SECTION 309 GARAGES AND CARPORTS - THE APPLICABLE REQUIREMENTS OF THIS SECTION ARE PROVIDED & SHALL CONFORM.
- SECTION 310 EMERGENCY ESCAPE & RESCUE OPENINGS - THE MINIMUM EGRESS DIMENSIONS OF EACH APPLICABLE SECTION ARE PROVIDED WITH ALL OPENING DOORS & WINDOWS. NO OPENING CONTROL DEVICES OR SUBGRADE WELLS ARE USED.
- SECTION 311 MEANS OF EGRESS - THE MINIMUM EGRESS DOORS, LANDINGS & DIMENSIONS OF EACH APPLICABLE SECTION ARE PROVIDED. DECK STEPS DIMENSIONS COMPLY AND HANDRAIL NOT REQUIRED (LESS THAN 4 RISERS).
- SECTION 312 GUARDS AND WINDOW FALL PROTECTION - DECK HEIGHT FROM GRADE IS GREATER THAN 30", GUARDRAILS ARE REQUIRED. GUARDRAILS SHALL MEET ALL THE REQUIREMENTS OF THIS SECTION FOR HEIGHT & OPENINGS.

### Wildland Urban Interface Fire Conformance Notes

WASHOE CO. - HIGH HAZARD RATING (APPLIES TO NEW ADDITION CONSTRUCTION)

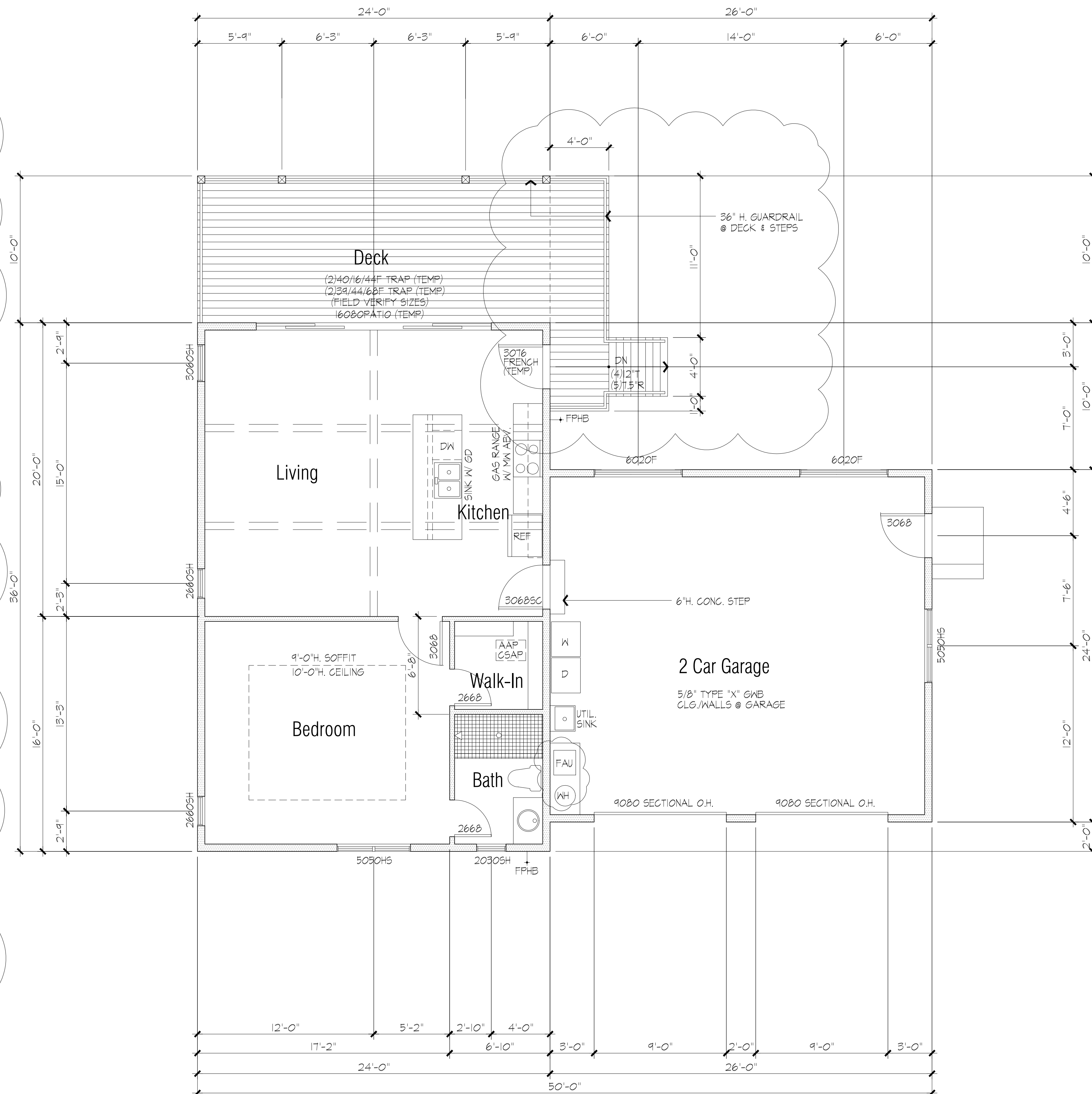
- ROOFING
1. CLASS 'A' CONCRETE TILE ROOFING - FIRESTOP ALL SPACES OR OPENINGS BETWEEN THE ROOF COVERING & DECKING, AND AT EAVES TO PREVENT THE ENTRY OF GLIMES OR EMBERS.
  2. ALL ROOF VALLEY FLASHING 26 GA. GALV. SHEET METAL.

- VENTING
1. ATTIC VENTILATION OPENINGS FOR THE ENCLOSED ROOF OVERHANG SOFFITS SHALL BE FULLY COVERED WITH VENTS ARE 144 SQ.IN. MAX. W/ OPENINGS 1/16" MIN. & 1/8" MAX. AND ARE CONSTRUCTED OF CORROSION RESISTANT METAL.

- EXTERIOR COVERING
1. ALL EXTERIOR COVERING MATERIALS INCLUDING RAKE OVERHANG & EAVE SOFFITS ARE CEMENT BASED STUCCO SYSTEMS OVER "FLAMEBLOCK" OSB SHEATHING.

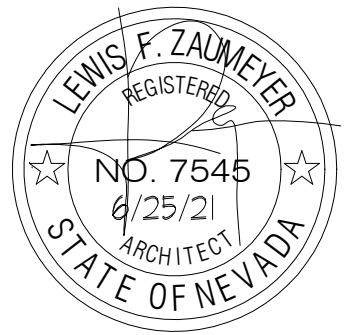
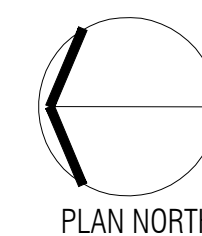
- EXTERIOR WINDOWS
1. ALL EXTERIOR WINDOWS SHALL BE DUAL-PANED COMPOSITE FIBER FRAME WINDOWS W/ LABELS CERTIFIED MEETING ANSI/AMMA/NWADA 101/1.5.2-9T.

- EXTERIOR DOORS
1. ALL EXTERIOR WOOD DOORS SHALL BE SOLID CORE WOOD 1 3/8" MIN. THICKNESS.



## FLOOR PLAN

SCALE: 1/4" = 1'-0"



# SCHEFFEL GUEST HOUSE

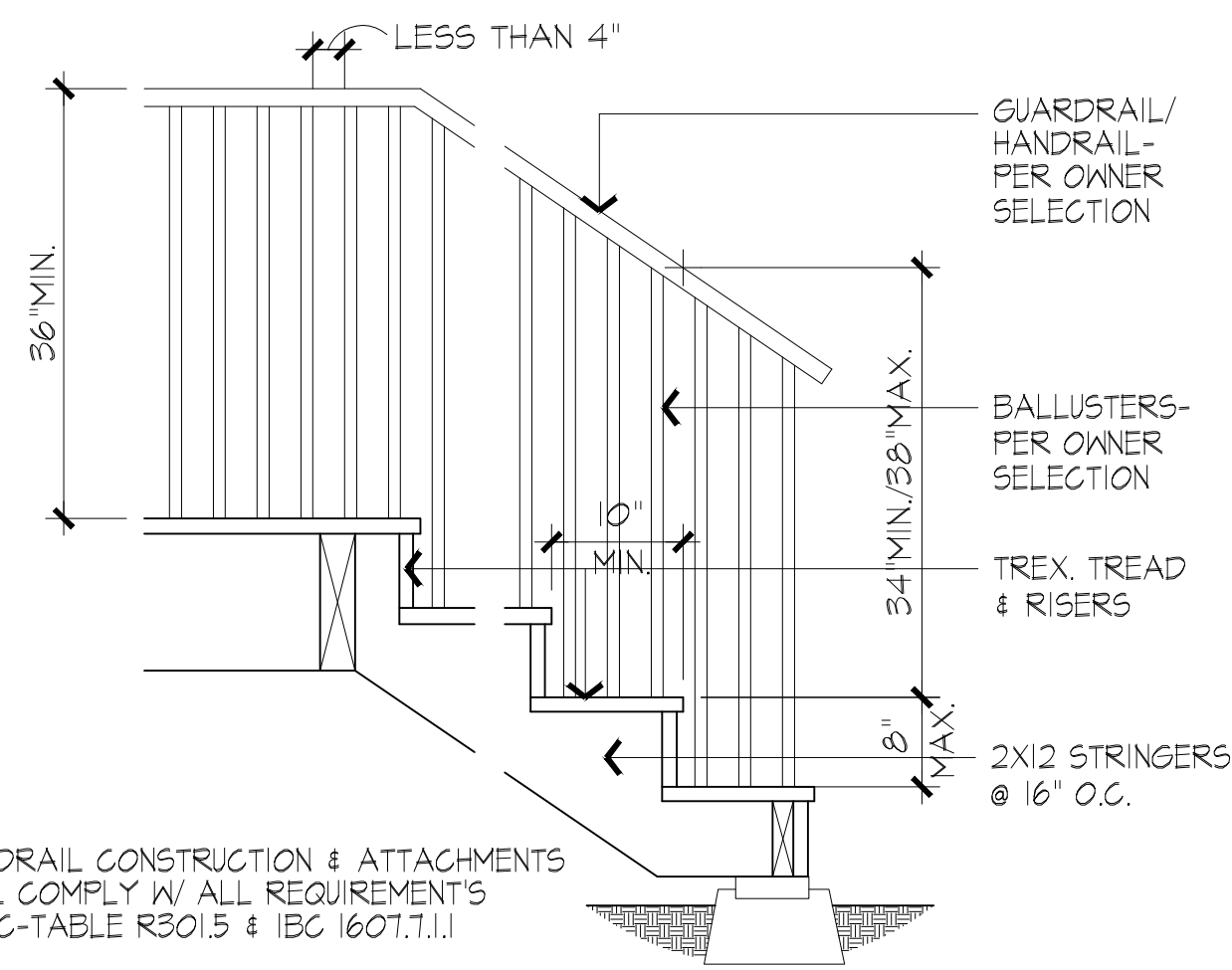
2320 KINNEY LANE  
WASHOE CO. NV

DATE: 6/15/21  
SCALE: 1/4" = 1'-0"  
DESIGNED BY: LFZ  
DRAWN BY: LFZ  
APPROVED BY: LFZ  
PROJECT NUMBER:

### FLOOR PLAN

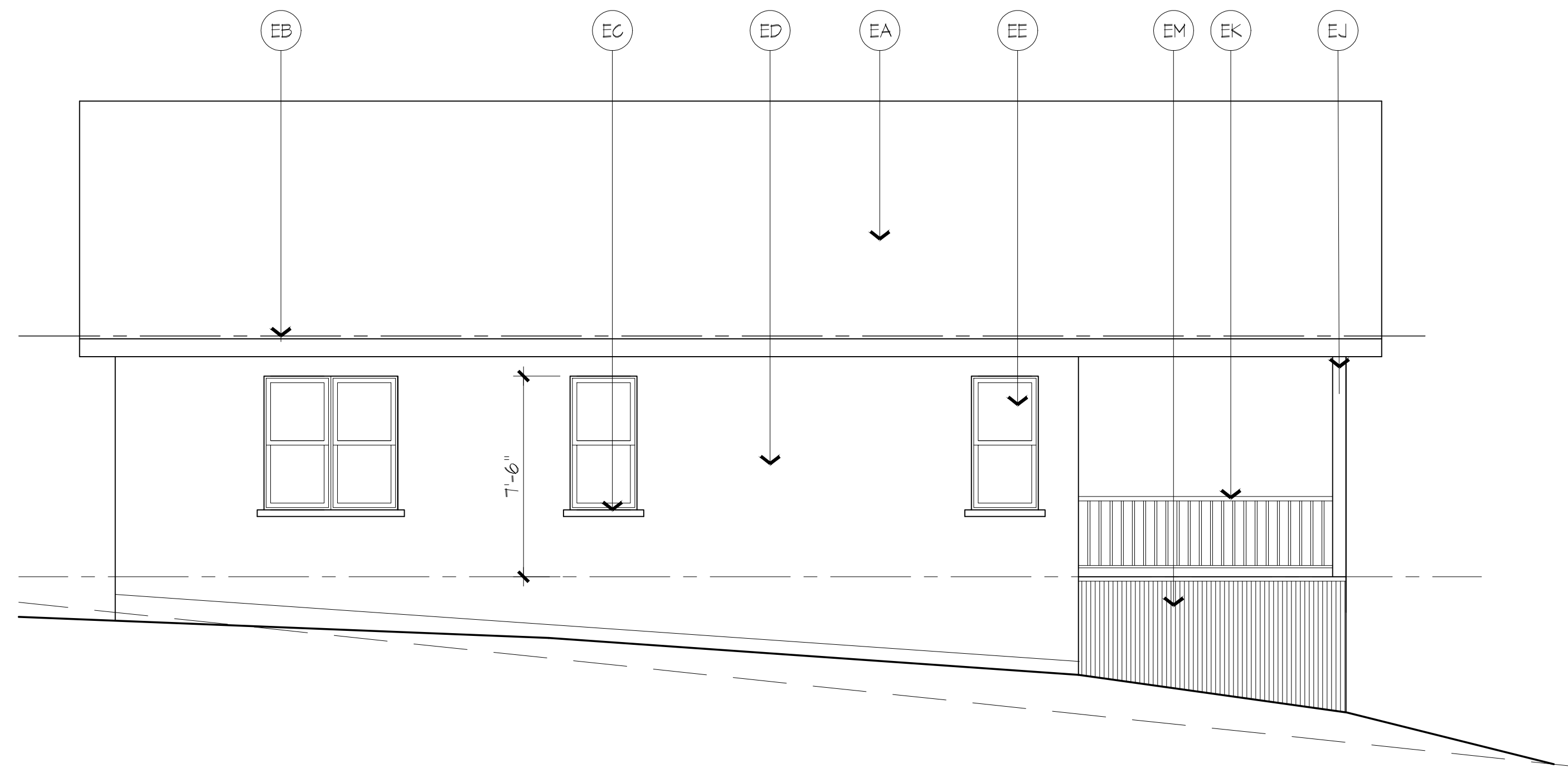
SHEET NUMBER: 2 REVISION: 0





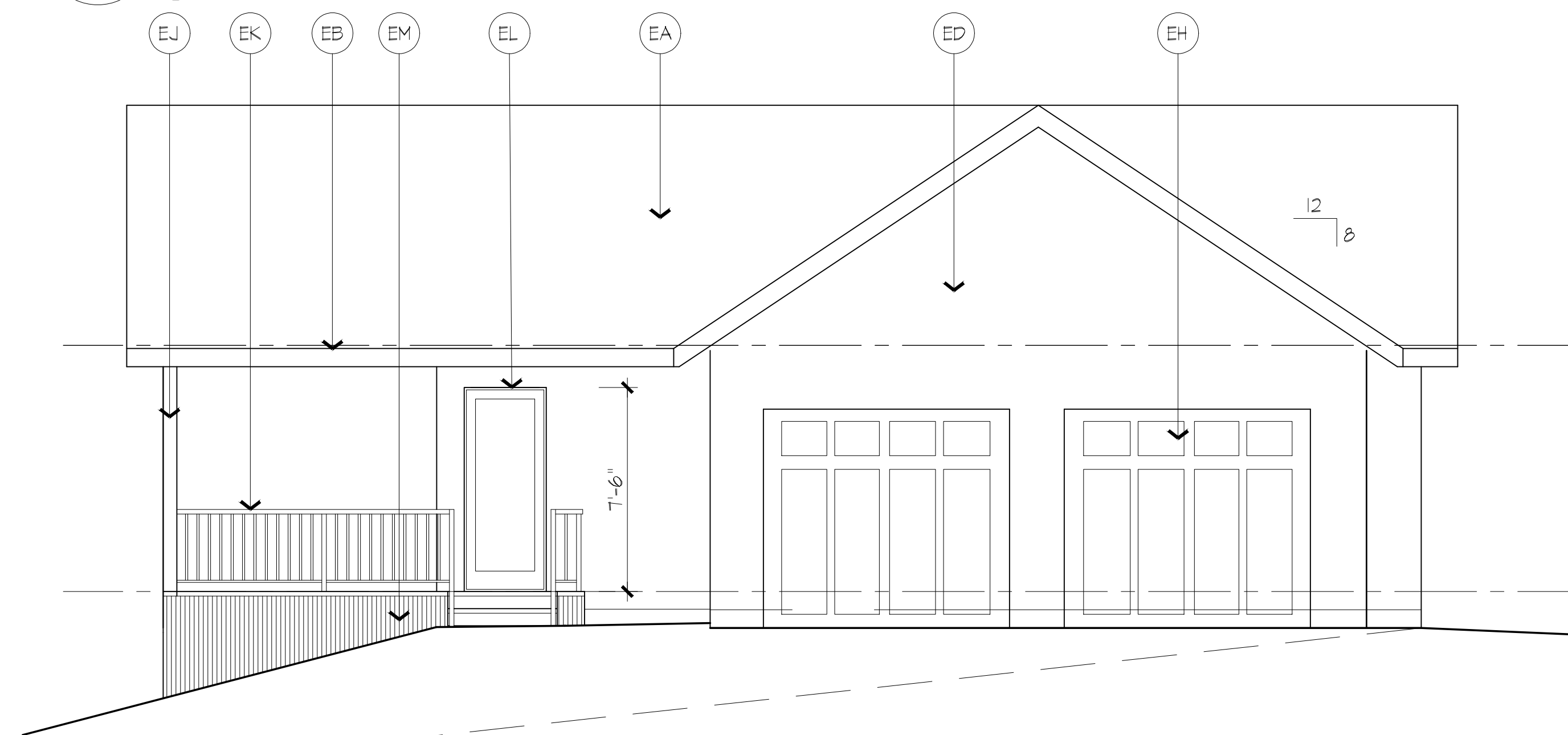
**TYP. STAIR/RAILING DETAIL 11**

SCALE: 3/4" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

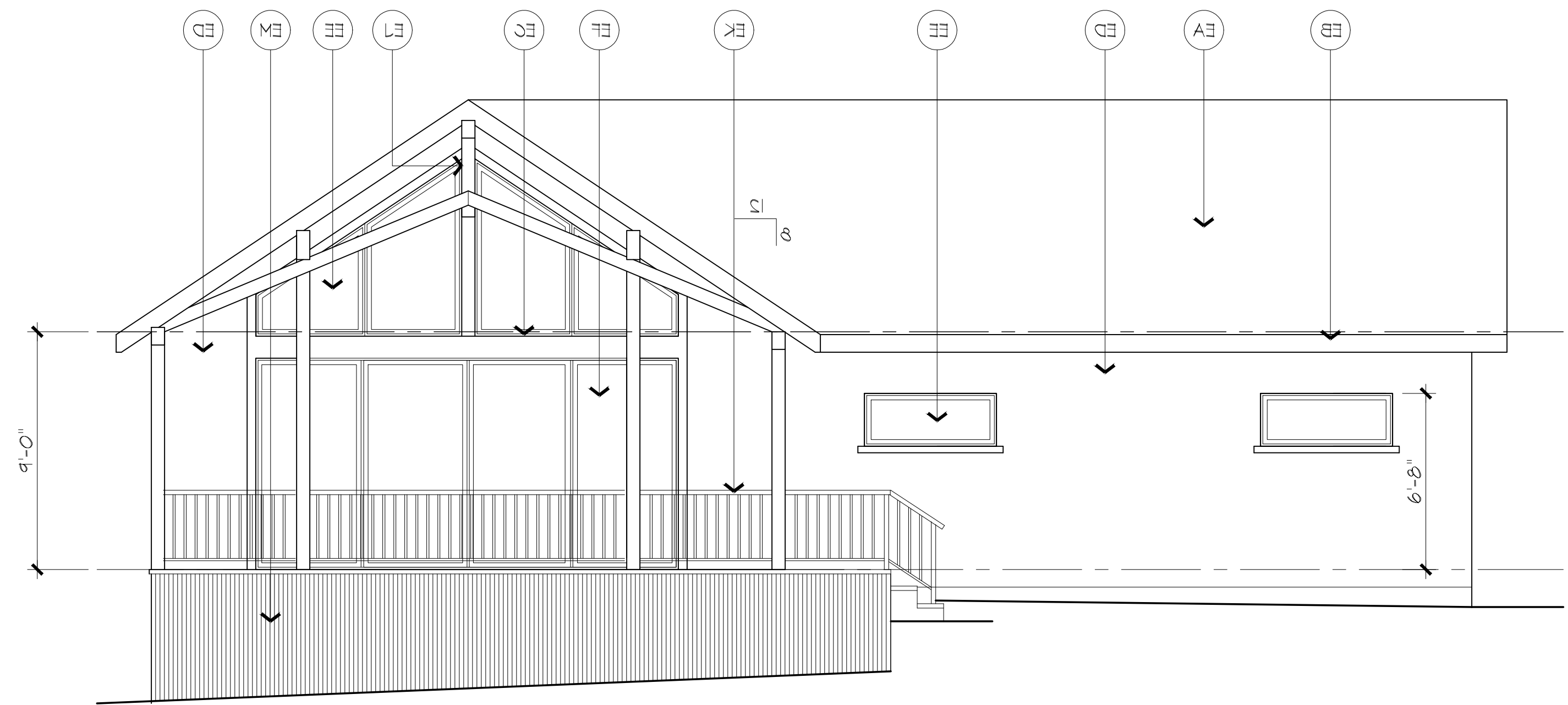


**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

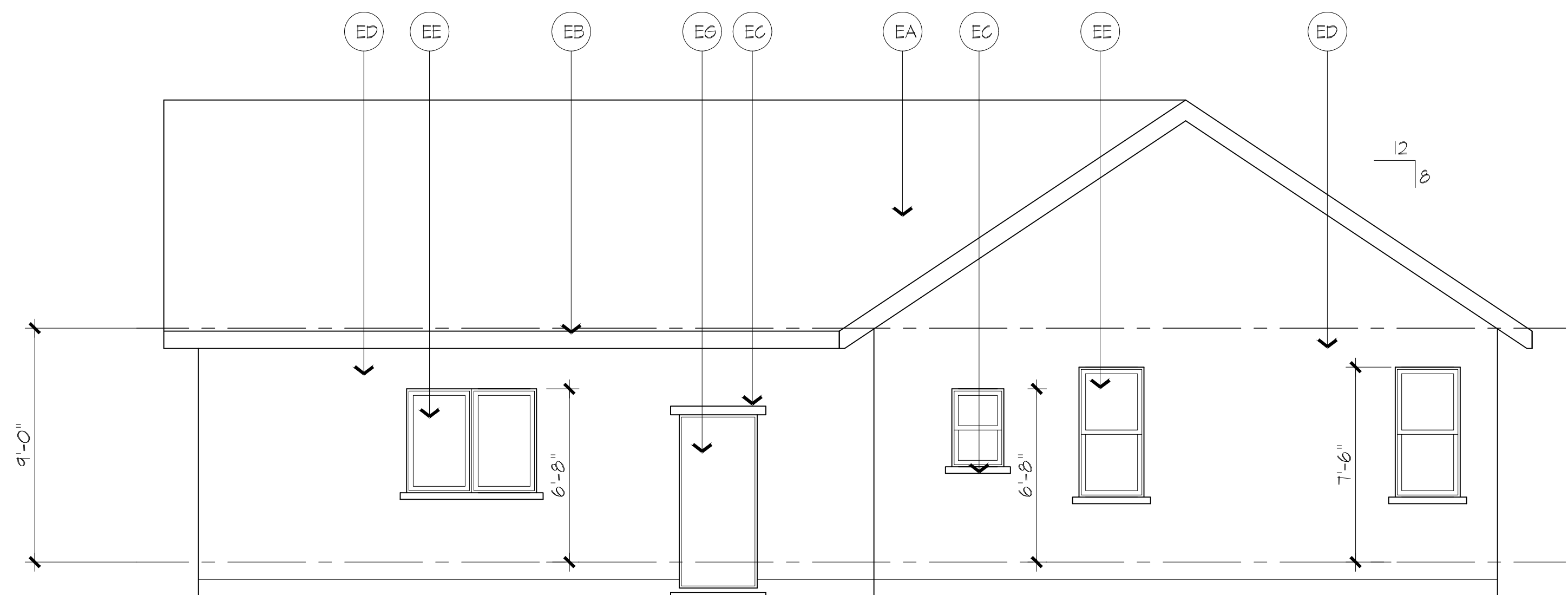
**Exterior Finishes**

- EA CONCRETE TILE ROOFING ON GRACE ICE & WATER SHIELD UNDERLAYMENT- ALL INSTALLATION, FLASHINGS & PENETRATIONS, SHALL BE PER MANF. INSTRUCTIONS AND 2018 IRC SECTION R905 - REQUIREMENTS FOR ROOF COVERINGS, & 2018 WUI (SEE NOTES SHEET 2)
- EB 2X8 FIBERCEMENT FASCIA EXTERIOR LATEX PAINT FINISH
- EC 3'X2" STUCCO OVER FOAM WINDOW SILL TRIM
- ED STUCCO SYSTEM ON METAL LATH, VAPOR BARRIER & 1/2" FLAMEBLOCK OSB OR EQ. SHEATHING
- EE ANDERSEN SERIES 100 COMPOSITE FRAME WINDOWS W/ INSULATED GLASS - (MAX 0.32 U-FACTOR)
- EF WOOD FRAME/ALUM OR VINYL FINISH, SLIDING GLASS DOORS W/ INSULATED GLASS (MAX 0.32 U-FACTOR)
- EG SOLID CORE DOOR - EXTERIOR LATEX PAINT FINISH
- EH METAL OR FIBERGLASS GARAGE DOORS - EXTERIOR LATEX PAINT FINISH.
- EJ 6X TIMBER FRAMING EXTERIOR LATEX PAINT FINISH
- EK 36" H. WROUGHT IRON RAILING- (SHALL CONFORM THE REQUIREMENTS OF 2018 IRC SECTION 312) EXTERIOR ALKYD PAINT FINISH
- EL WOOD FRAME/ALUM OR VINYL FINISH, FRENCH DOORS W/ INSULATED GLASS (MAX 0.32 U-FACTOR)
- EM 26 GA. CORTEN CORROGATED METAL PANELS SCREW ATTACHED TO 2X6 FLAT @ 24" O.C. HORIZ. FRAMING BETWEEN POSTS.



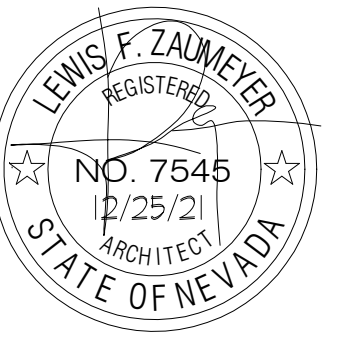
**EAST ELEVATION**

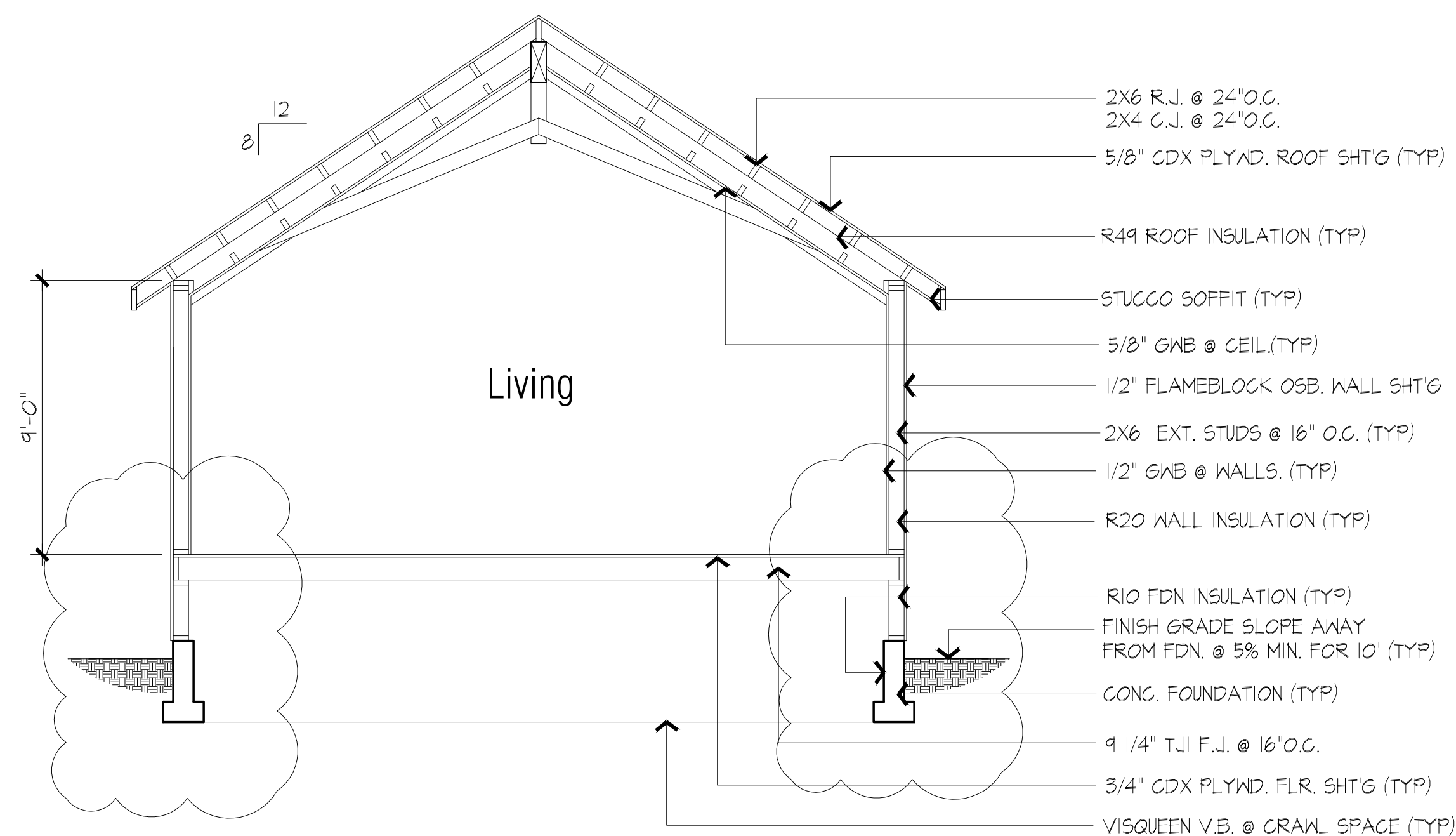
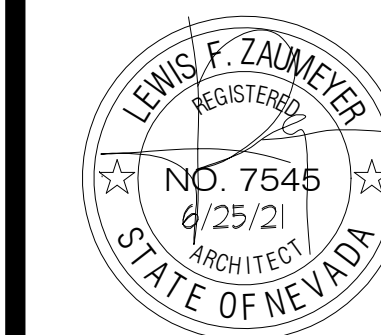
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**

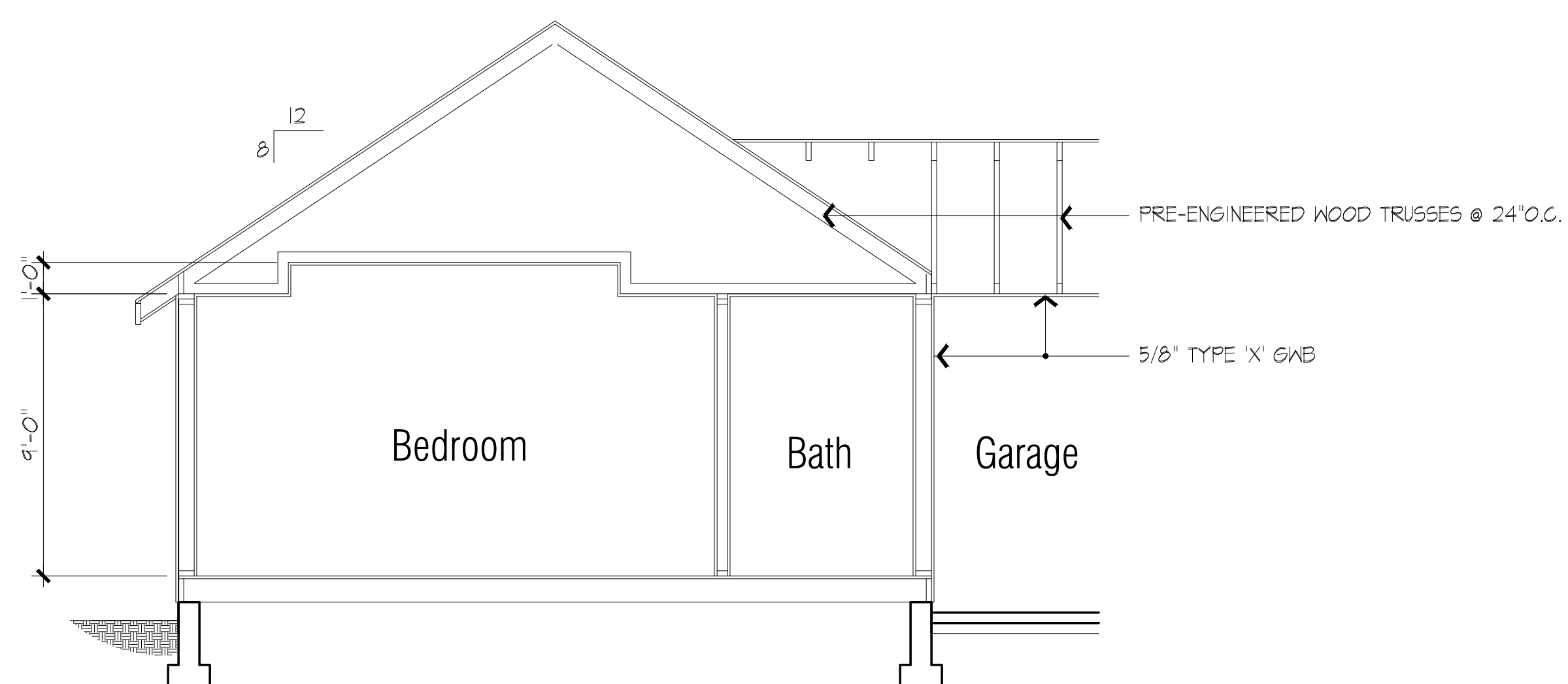
SCALE: 1/4" = 1'-0"





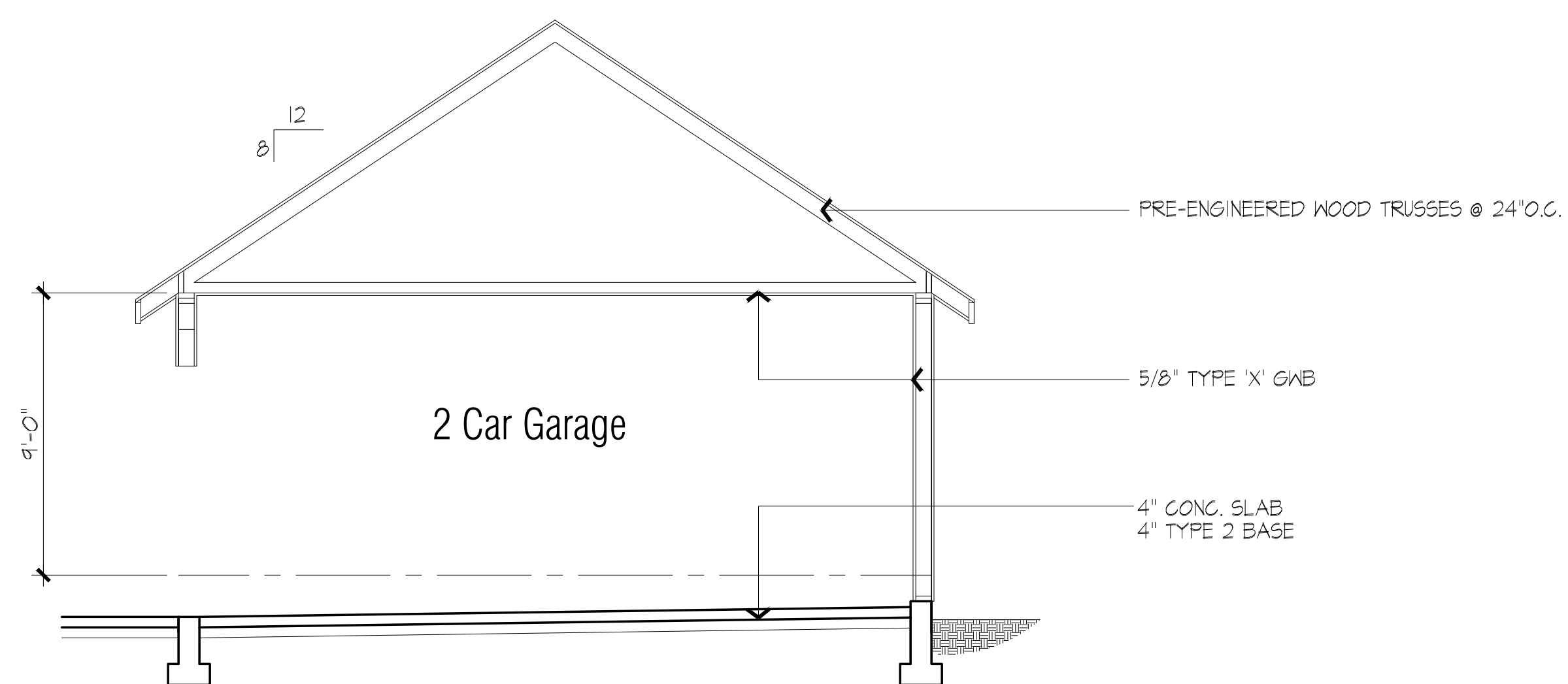
SECTION A-A

SCALE: 1/4" = 1'-0"



SECTION B-B

SCALE: 1/4" = 1'-0"



SECTION C-C

SCALE: 1/4" = 1'-0"

ATTIC VENTILATION CALCULATION

50% PROVIDED AT EAVES & 50% PROVIDED 36" ABOVE EAVES

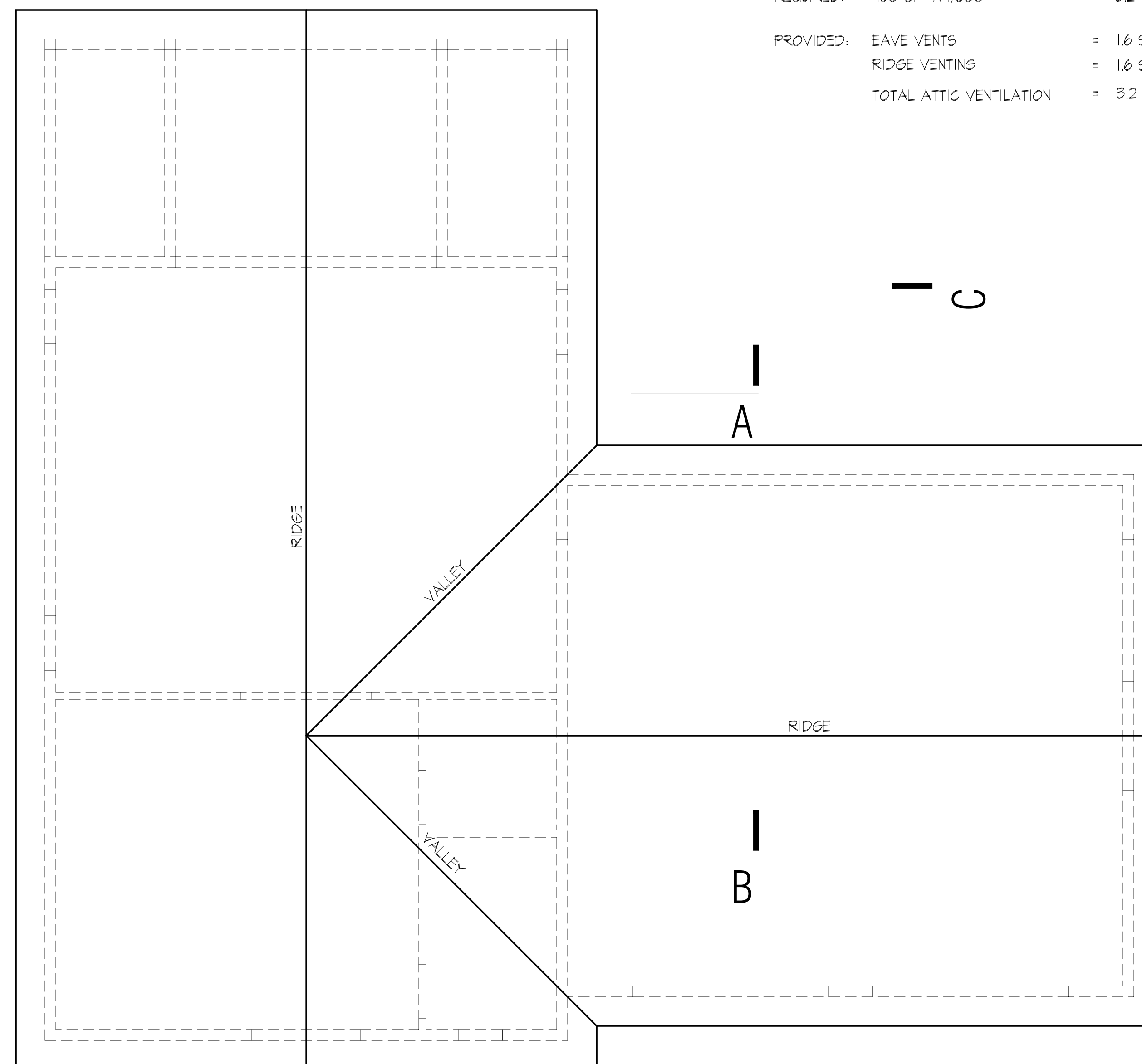
BEDROOM, BATH & GARAGE ATTIC AREA

REQUIRED: 960 SF X 1/300 = 3.2 SF MIN

PROVIDED: EAVE VENTS = 1.6 SF

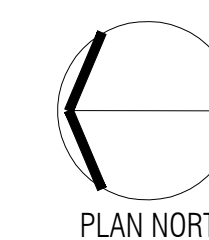
RIDGE VENTING = 1.6 SF

TOTAL ATTIC VENTILATION = 3.2 SF



ROOF PLAN

SCALE: 1/4" = 1'-0"



SCHEFFEL GUEST HOUSE

2320 KINNEY LANE  
WASHOE CO. NV

DATE: 6/15/21

SCALE: 1/4" = 1'-0"

DESIGNED BY: LFZ

DRAWN BY: LFZ

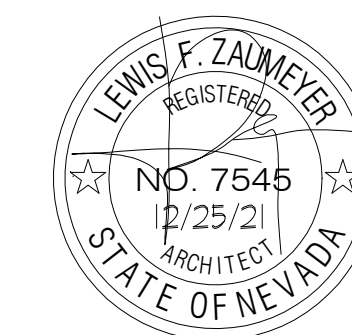
APPROVED BY: LFZ

PROJECT NUMBER:

SECTIONS  
ROOF PLAN

SHEET NUMBER: REVISION:

4 0

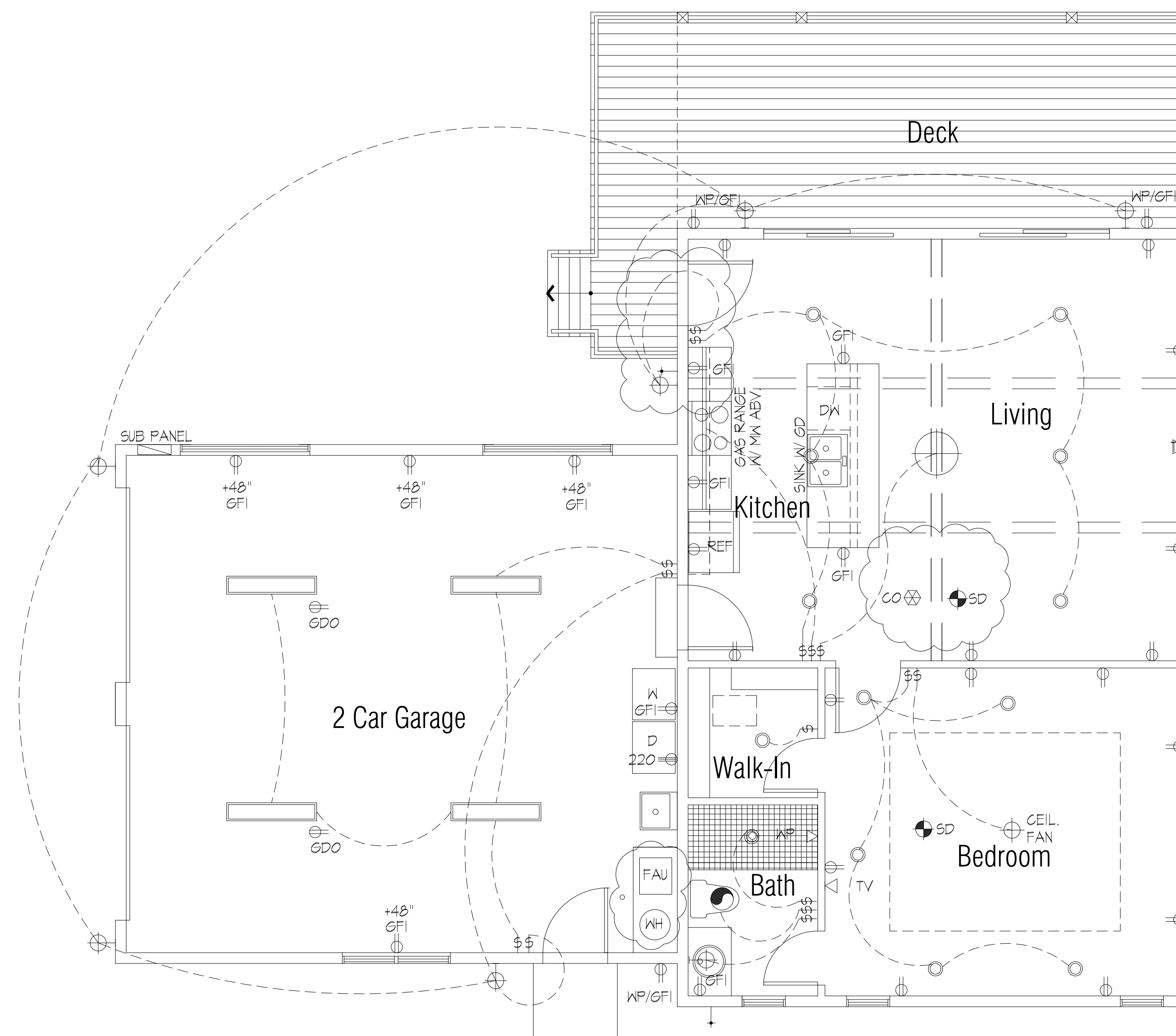


### Electrical Symbols

- RECESSED LIGHT
- ⊕ INCANDESCENT LIGHT (CEILING MTD.)
- ⊕ INCANDESCENT LIGHT (CHANDELIER)
- ⊕ INCANDESCENT LIGHT (WALL MTD.)
- ▭ FLUORESCENT LIGHT (CEILING MTD.)
- ▶ TELEPHONE
- TV TELEVISION
- ⊙ EXHAUST FAN
- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR

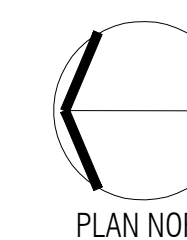
#### NOTES:

1. ARC-FAULT CIRCUIT INTERRUPTOR PROTECTION REQUIRED (NOT PROTECTED BY GFI) ON ALL BRANCH CIRCUITS IN EVERY ROOM FOR 120 V, SINGLE PHASE, 15 & 20 A OUTLETS PER 2018 IRC 3102.12 OR OTHER EXCEPTIONS LISTED.
2. PROVIDE TAMPER RESISTANT RECEPTACLES FOR ALL RECEPTACLES LOCATED LESS THAN 66" A.F. PER PER 2018 IRC 4002.14 OR OTHER EXCEPTIONS LISTED.
3. ALL EXTERIOR OUTLETS INDICATED "WP/GFI" SHALL HAVE A (WP) EMBLEM ON THE RECEPTACLE PER 2018 IRC 3001.7 & 4002.8.
4. ALL CEILING OUTLET BOXES SHALL BE RATED FOR A MIN. 50 LBS. LOAD CAPACITY PER 2018 IRC 3105.6.2.
5. ANY SWITCHES CONTROLLING LIGHTING LOADS SUPPLIED BY A GROUNDED GENERAL PURPOSE BRANCH CIRCUIT, THE GROUNDED CIRCUIT CONDUCTOR FOR THE CONTROLLED LIGHTING CIRCUIT SHALL BE PROVIDED AT THE SWITCH LOCATION, PER 2018 IRC 4001.15 OR OTHER EXCEPTIONS LISTED.
8. 75% OF ALL PERMANENTLY INSTALLED LIGHT BULBS SHALL BE HIGH-EFFICACY



## ELECTRICAL FLOOR PLAN

SCALE: 1/4" = 1'-0"



2320 KINNEY LANE  
WASHOE CO., NV

DATE:	12/15/21
SCALE:	1/4" = 1'-0"
DESIGNED BY:	LFZ
DRAWN BY:	LFZ
APPROVED BY:	LFZ
PROJECT NUMBER:	

### ELECTRICAL PLAN

SHEET NUMBER:	REVISION:
---------------	-----------

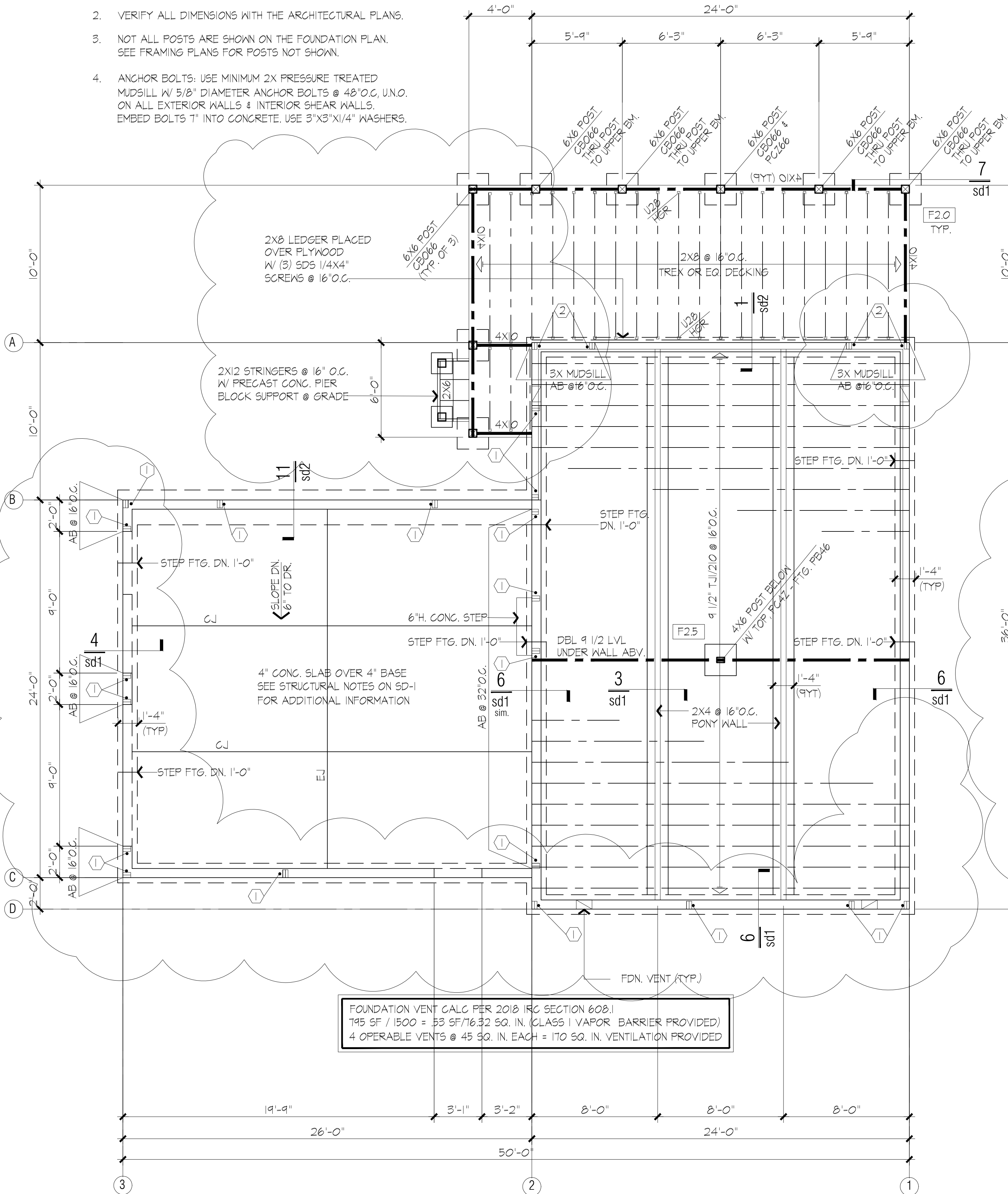
5

1

SCHEFFEL GUEST HOUSE

### Foundation Plan Notes

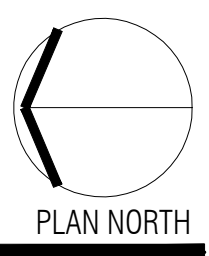
- 1. SEE SHEET SD-1 FOR ALL SCHEDULES & SYMBOLS NOT SHOWN ON THIS SHEET.
- 2. VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL PLANS.
- 3. NOT ALL POSTS ARE SHOWN ON THE FOUNDATION PLAN. SEE FRAMING PLANS FOR POSTS NOT SHOWN.
- 4. ANCHOR BOLTS: USE MINIMUM 2X PRESSURE TREATED MUDSILL W/ 5/8" DIAMETER ANCHOR BOLTS @ 48" O.C. U.N.O. ON ALL EXTERIOR WALLS & INTERIOR SHEAR WALLS. EMBED BOLTS 1" INTO CONCRETE. USE 3"X5"X1/4" WASHERS.



FOUNDATION VENT CALC PER 2018 IRC SECTION 608.1  
 745 SF / 1500 = 53 SF/1632 SQ. IN. (CLASS 1 VAPOR BARRIER PROVIDED)  
 4 OPERABLE VENTS @ 45 SQ. IN. EACH = 180 SQ. IN. VENTILATION PROVIDED

### FOUNDATION PLAN

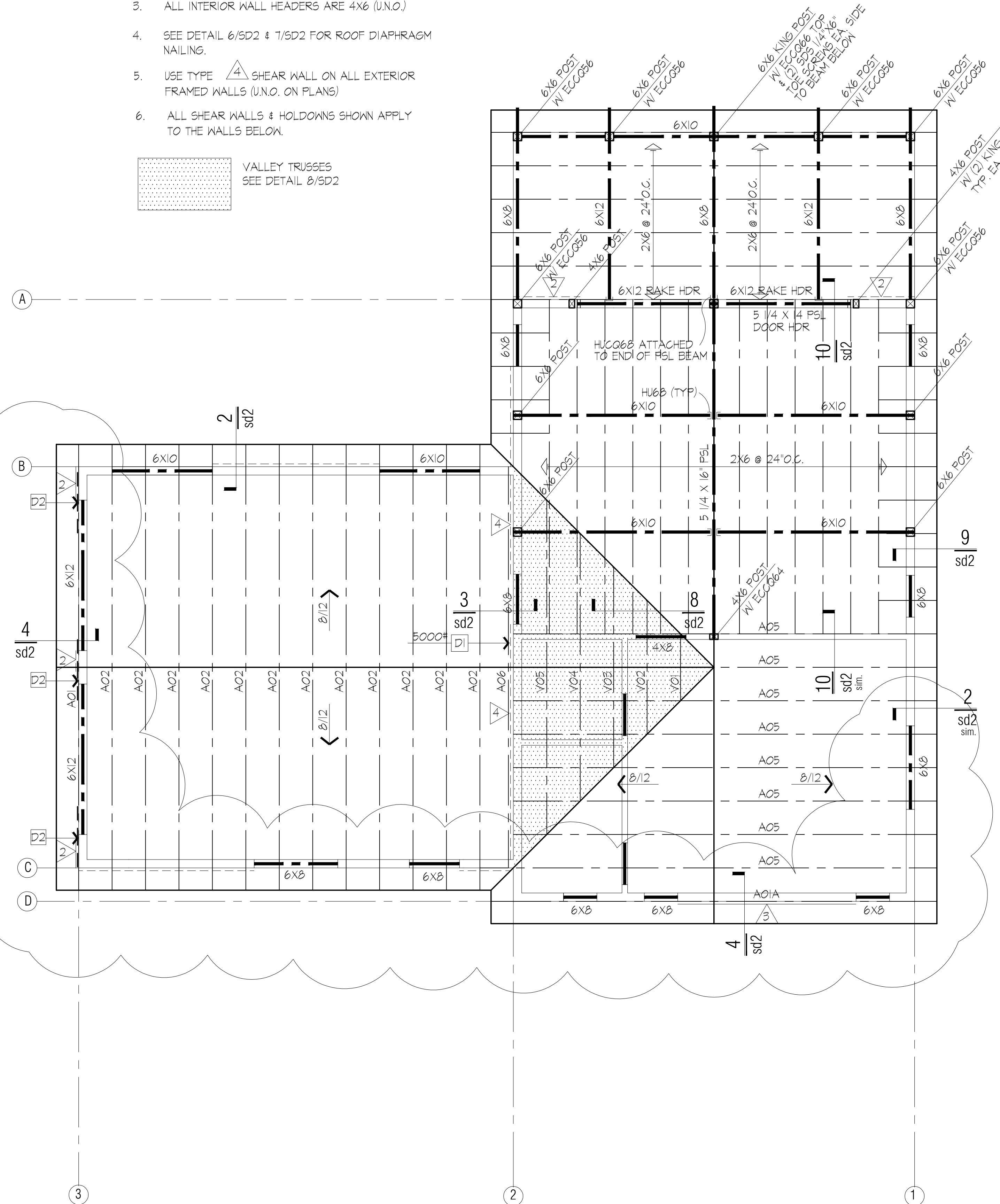
SCALE: 1/4" = 1'-0"



### Framing Plan Notes / Legend

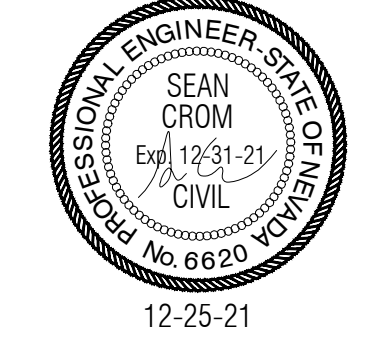
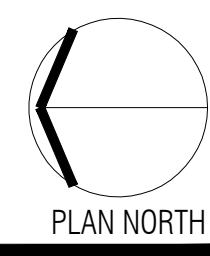
- 1. SEE SHEET SD-1 FOR ALL SCHEDULES & SYMBOLS NOT SHOWN ON THIS SHEET.
- 2. ALL EXTERIOR WALL HEADERS ARE 6X8 (U.N.O.)
- 3. ALL INTERIOR WALL HEADERS ARE 4X6 (U.N.O.)
- 4. SEE DETAIL 6/SD2 & 7/SD2 FOR ROOF DIAPHRAGM NAILING.
- 5. USE TYPE 4 SHEAR WALL ON ALL EXTERIOR FRAMED WALLS (U.N.O. ON PLANS)
- 6. ALL SHEAR WALLS & HOLD-DOWNS SHOWN APPLY TO THE WALLS BELOW.

**VALLEY TRUSSES**  
SEE DETAIL 6/SD2



### ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



# SCHEFFEL GUEST HOUSE

2320 KINNEY LANE  
WASHOE CO. NV

DATE:	12/15/21
SCALE:	1/4" = 1'-0"
DESIGNED BY:	LFZ
DRAWN BY:	LFZ
APPROVED BY:	LFZ
PROJECT NUMBER:	

FOUNDATION PLAN  
ROOF FRAMING PLAN

SHEET NUMBER: 6 REVISION: 1

**STRUCTURAL NOTES:**

**GENERAL:**

- ALL CONSTRUCTION SHALL CONFORM TO THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE, AND THE LATEST ADOPTIVE CITY OR COUNTY ORDINANCES.
- WHERE EXPLICIT DETAILS ARE NOT SHOWN OR DESCRIBED, THE MINIMUM REQUIREMENTS OF THE CODE SHALL APPLY. CONTACT THE ENGINEER IF INTERPRETATION OF THE STRUCTURAL DOCUMENTS IS NECESSARY.
- USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE DRAWINGS FOR DIMENSIONS.
- THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS, PROPERTY LOCATION, SIZE, AND MEASUREMENTS. VERIFY ALL ON-SITE AND CONSTRUCTION CONDITIONS PRIOR TO ORDERING MATERIAL AND VERIFY DIMENSIONS BEFORE ORDERING TRUSSES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE PER THE APPROVED BUILDING DEPARTMENT DRAWINGS.
- STRUCTURAL CHANGES TO THE PLAN SHALL BE APPROVED IN WRITING.
- COORDINATE WITH THE ARCHITECTURAL PLANS FOR ARCHITECTURAL FEATURES WHICH ARE NOT SHOWN ON THE STRUCTURAL PLANS.

**FOUNDATIONS:**

- ALL FOOTINGS & PIERS SHALL BE ON UNDISTURBED NATIVE SOIL WITH A MINIMUM SOIL BEARING PRESSURE OF 1500 P.S.F.. ALL EXTERIOR FOOTINGS & PIERS SHALL BE A MINIMUM OF 2'-0" BELOW FINISH GRADE.
- FOOTINGS, PIERS, AND CONCRETE SLABS SHALL NOT BE PLACED ON FILL OR EXPANSIVE SOILS UNLESS APPROVED BY A GEOTECHNICAL ENGINEER. IT SHALL BE THE OWNER OR CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SOIL CONDITIONS PRIOR TO POURING ANY FOOTINGS OR SLABS.
- FOOTINGS SHALL BE STEPPED ON SLOPES GREATER THAN 10 HORIZONTAL TO 1 VERTICAL PER THE TYPICAL STEPPED FOOTING DETAIL. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF STEPS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE POSITIVE DRAINING AWAY FROM THE FOUNDATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR WATERPROOFING ALL FOOTINGS, STEM WALLS, RETAINING WALLS, AND BASEMENT WALLS.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

**CONCRETE AND REINFORCING:**

- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST ADDITION OF THE AMERICAN CONCRETE INSTITUTE (ACI).
- CONCRETE SHALL TEST NOT LESS THAN  $f'c = 3000$  P.S.I. AT 28 DAYS (SPECIAL INSPECTION NOT REQUIRED).
- REINFORCING SHALL BE CONTINUOUS AND CONFORM TO A.S.T.M. A615 GRADE 60.
- SPLICES IN CONTINUOUS REINFORCEMENT SHALL LAP 40-BAR DIAMETERS.
- LAP & BEND ALL HORIZONTAL REINFORCING AROUND CORNERS A MINIMUM OF 24".
- CONCRETE SLABS ON GRADE:
  - REINF. ALL SLABS ON GROUND W/ 6x6-10x10 W.W.F. PLACED IN CENTER OF SLAB & USE REINFORCED FIBER CONCRETE, U.N.O.
  - PLACE SLABS ON MIN. OF 6" AGG. BASE COMPACTED TO 95% RELATIVE DENSITY, U.N.O. BY THE GEOTECHNICAL ENGINEER.
  - PROVIDE STANDARD CRACK CONTROL JOINTS IN ALL SLABS ON GRADE USING MAXIMUM DIMENSION OF 10 FEET IN EACH DIRECTION.
- EXTERIOR SLABS ON GRADE SHALL BE DESIGNED BY OTHERS AND NOT A PART OF THESE PLANS.
- ANCHOR BOLTS: USE MINIMUM 5/8" DIA. ANCHOR BOLTS AT 48" O.C. EMBEDDED 7" INTO CONCRETE. USE 3"x3"x1/4" WASHERS ON ALL ANCHOR BOLTS.
- CLEAR COVERAGE OF CONCRETE OVER REINFORCEMENT SHALL BE AS FOLLOWS:
  - CONCRETE POURED DIRECTLY ON EARTH: 3 INCHES.
  - SLABS ON GRADE: 2 INCHES CLEAR TO TOP OF SLAB.
  - BEAMS: 2 INCHES CLEAR TO FACE OF MAIN REINFORCING.
  - COLUMNS: 2 INCHES CLEAR TO FACE VERTICAL REINFORCING.
  - FORMED CONCRETE WITH EARTH BACKFILL: 2 INCHES.
- UNLESS NOTED OTHERWISE, HOLD-DOWNS SHOWN ON THE PLANS SHALL LINE UP WITH THEIR ASSOCIATED ABOVE SHEARWALLS. PLACEMENT SHALL BE AT THE KING STUD / TRIMMER AT THE END OF THE DESIGNATED SHEARWALL. THE CONTRACTOR SHALL COORDINATE THIS ACTION BETWEEN THE SUBCONTRACTORS IN THE FIELD.

**WOOD FRAMING:**

- WOOD GRADES:
  - JOIST, RAFTERS, & STUDS : DOUGLAS FIR NO. 1 OR BETTER.
  - TJI JOIST SHALL BE "TRUSS JOIST CORP." OR EQUAL.
  - LSL RIM JOIST SHALL BE "TIMBERSTRAND" OR EQUAL.
  - SAWED BEAMS AND COLUMNS: DOUGLAS FIR NO. 1 OR BETTER.
  - GLUED LAMINATED BEAMS - COMBINATION 24F-V4. USE 24F-V8 WHERE CANTILEVERED CONDITIONS EXIST. GLUED LAMINATED BEAMS SUBJECT TO MOISTURE CONDITIONS SHALL BE TREATED PER IBC SECTION 2304.11.3
  - STRUCTURAL PLYWOOD: APA C-D EXTERIOR GLUE
  - MUDSILLS: FOUNDATION GRADE REDWOOD OR PRESSURE TREATED DOUGLAS FIR.
  - LVL SHALL BE MINIMUM 1.9E MICRO-LAM, OR EQUAL.
  - PSL SHALL BE TRUSSJOIST 2.0 E PARALLAM OR EQUAL.
- ROOF SHEATHING: USE 5/8" 40/20 PLYWOOD WITH 10d NAILS AT 6" O.C. ALL PANEL EDGES AND 12" O.C. FIELD. BOUNDARY NAILING SHALL BE REQUIRED AT BLOCKING OVER EXTERIOR WALLS, INTERIOR SHEAR WALLS, DRAG STRUTS, RIDGES, VALLEYS, AND HIPPS. INTERMEDIATE FRAMING SHALL BE NAILED WITH 10d NAILS AT 6" O.C. EDGES AND 12" O.C. FIELD. SEE DETAILS 6/SD2 AND 7/SD2 FOR ADDITIONAL NAILING REQUIREMENTS.
- FLOOR SHEATHING: USE 3/4" T & G STURO-I-FLOOR PLYWOOD OR OSB, GLUED AND NAILED WITH 10d NAILS AT 6" O.C. EDGES AND 10" O.C. FIELD, OR USE #8 x 2" SCREWS.
- LAY ALL STRUCTURAL PLYWOOD ON ROOF AND FLOORS WITH THE FACE GRAIN PERPENDICULAR TO THE SUPPORTS.
- EXTERIOR HEADERS AND INTERIOR BEARING WALL HEADERS: USE MINIMUM 6x8 HEADERS UNLESS NOTED OTHERWISE ON PLANS. USE DOUBLE TRIMMERS UNDER ALL HEADERS WITH SPANS GREATER THAN 5'-0". UNLESS POST SIZE IS SHOWN ON PLANS.
- ALL LIGHT GAGE METAL CONNECTORS FOR WOOD CONSTRUCTION SHALL BE SIMPSON "STRONG-TIE" PRODUCTS AS SPECIFIED IN THEIR LATEST CATALOG OR AN APPROVED EQUAL.
- WALL FRAMING:
  - USE MINIMUM OF 2x6 STUDS AT 16" O.C. AT EXTERIOR WALLS, AND AT INTERIOR BEARING WALLS, U.N.O.
  - USE DOUBLE KING STUDS FOR ALL DOOR AND WINDOW OPENINGS GREATER THAN 5 FEET IN WIDTH, U.N.O.
  - BEARING AND SHEAR WALLS SHALL HAVE DOUBLE TOP PLATES. SPLICE UPPER AND LOWER PLATES WITH A 4' LAP MIN. AND SPLICE WITH (16) 16d NAILS, U.N.O. WHERE BEAMS ARE FLUSH WITH TOP PLATE USE ST6236 STRAP TO CONNECT BEAM TO TOP PLATE. SEE DETAIL 5/SD2 FOR ADDITIONAL INFORMATION.
- SEE PLANS AND SHEAR WALL SCHEDULE FOR SHEAR WALL NAILING.
- UNLESS NOTED OTHERWISE ON THE PLAN, LAMINATE DBL LVL'S WITH (2) ROWS 16d @ 8" O.C. ONE FACE, AND FOR (3) LVL LAMINATE WITH (2) ROWS 16d @ 8" O.C. EACH FACE. UNLESS NOTED OTHERWISE, LAMINATE ALL DOUBLE STUDS AND SUPPORTS W/ MINIMUM 10d @ 12" O.C.
- IF BEARING WALLS CALLED OUT ON THE PLANS THAT SHOW 2x MATERIAL CONFLICT WITH THE SHEARWALL SCHEDULE WHICH CALLS OUT 3x MATERIAL, THE SHEARWALL SCHEDULE SHALL GOVERN.
- BLOCK SOLID AT FLOOR FRAMING UNDER ALL HOLD-DOWN POSTS AND STRUCTURAL POSTS.

**PREMANUFACTURED TRUSSES:**

- MANUFACTURE SHALL PROVIDE CALCULATIONS WHICH SHALL BE CONSIDERED A PART OF THE APPROVED PLANS OF RECORD.
- UNLESS NOTED OTHERWISE ON THE PLANS, USE SIMPSON H1 CLIPS ON ALL BEARING POINTS OF EVERY TRUSS EXCEPT AT (2) PLY TRUSSES WHICH SHALL RECEIVE (2) H2.5 CLIPS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL TRUSS CALCULATIONS PRIOR TO INSTALLATION FOR PERTINENT NOTES AND ANY ADDITIONAL HARDWARE.
- CONTRACTOR SHALL INSTALL BRACING PER TRUSS CALCULATIONS. IF EITHER THE BOTTOM OR TOP CHORD DOES NOT HAVE FACING MATERIAL APPLIED TO IT, CONTACT TRUSS MANUFACTURER FOR PROPER BRACING REQUIREMENTS. MINIMUM 2x4 MATERIAL SHALL BE USED FOR ALL BRACING REQUIREMENTS. ALL BRACING SHALL TERMINATE AND ATTACH TO SOLID PORTIONS OF THE STRUCTURE SUCH AS END WALLS OR ROOF DIAPHRAGMS.
- THE CONTRACTOR SHALL CONSIDER TRUSS DEFLECTIONS DURING THE CONSTRUCTION OF INTERIOR PARTITION WALLS.
- PLACE STUD UNDER EACH PLY OF GIRDER TRUSS, U.N.O.( 2-PLY, 2- STUDS ETC.)

LOADS	
ROOF SNOW LOAD, PSF	23
ROOF DEAD LOAD, PSF	18
FLOOR LIVE LOAD, PSF	40
FLOOR DEAD LOAD, PSF	15

WIND DESIGN DATA	
ULTIMATE WIND SPEED, MPH	130
WIND IMPORTANCE FACTOR, $I_w$	1.0
WIND EXPOSURE	C

EARTHQUAKE DESIGN DATA	
SEISMIC IMPORTANCE FACTOR, $I_e$	1.0
SEISMIC USE GROUP	I
SITE CLASS	D
SEISMIC DESIGN CATEGORY	1
SPECTRAL RESPONSE ACCELERATION, $S_s$	1.0
SPECTRAL RESPONSE ACCELERATION, $S_1$	0.5
BASIC SEISMIC-FORCE-RESISTING SYSTEM	BEARING WALL SYSTEM
RESPONSE MODIFICATION FACTOR (WOOD), $R$	6.5

**SHEAR WALL SCHEDULE**

WALL TYPE	MATERIAL	EDGE NAILING	3x MEMBER REQ'D AT PANEL JOINTS	FRAMING CLIPS (SEE NOTE 8)
6	1/2" CDX PLYWOOD ONE SIDE OF WALL	8d @ 6" o.c.	NO	CLIPS @ 24" o.c.
4	1/2" CDX PLYWOOD ONE SIDE OF WALL	8d @ 4" o.c.	NO	CLIPS @ 16" o.c.
3	1/2" CDX PLYWOOD ONE SIDE OF WALL	8d @ 3" o.c.	YES	CLIPS @ 12" o.c.

**NOTES:**

- USE TYPE 6 SHEAR WALL FOR ALL EXTERIOR WALLS NOT MARKED ON THE PLANS.
- NOTE: OSB MAY BE SUBSTITUTED FOR PLYWOOD.
- NAIL PANEL EDGES PER ABOVE. BLOCK HORIZONTAL EDGES WITH 2x MEMBER. FIELD NAIL WITH 8d @ 12" O.C..
- EDGE NAIL TO ALL HOLD-DOWN POSTS STUDS ON PLANS SHOWN ON PLANS.
- WHERE SHEAR PANELS ABUTT, AND NAILS ON EACH SIDE SHALL BE STAGGERED.
- WHERE PLYWOOD IS APPLIED ON BOTH FACES OF WALL, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3" NOMINAL MIN. AND NAILS ON EACH SIDE SHALL BE STAGGERED.
- REFER TO THE FOUNDATION PLAN FOR MUDSILL REQUIREMENTS
- FRAMING CLIPS SHOWN IN SHEAR WALL SCHEDULE ARE REFERENCED ON SHEAR TRANSFER DETAILS SUCH AS DRAG TRUSSES TO TOP PLATE & FLOOR OR ROOF BLOCKING TO TOP PLATE.

**HOLD-DOWN SCHEDULE**

TYPE	DESCRIPTION
1	HDU5 HOLD-DOWN PLACED AT FOUNDATION. SEE DETAIL 3/SD1

**SPREAD FOOTING SCHEDULE**

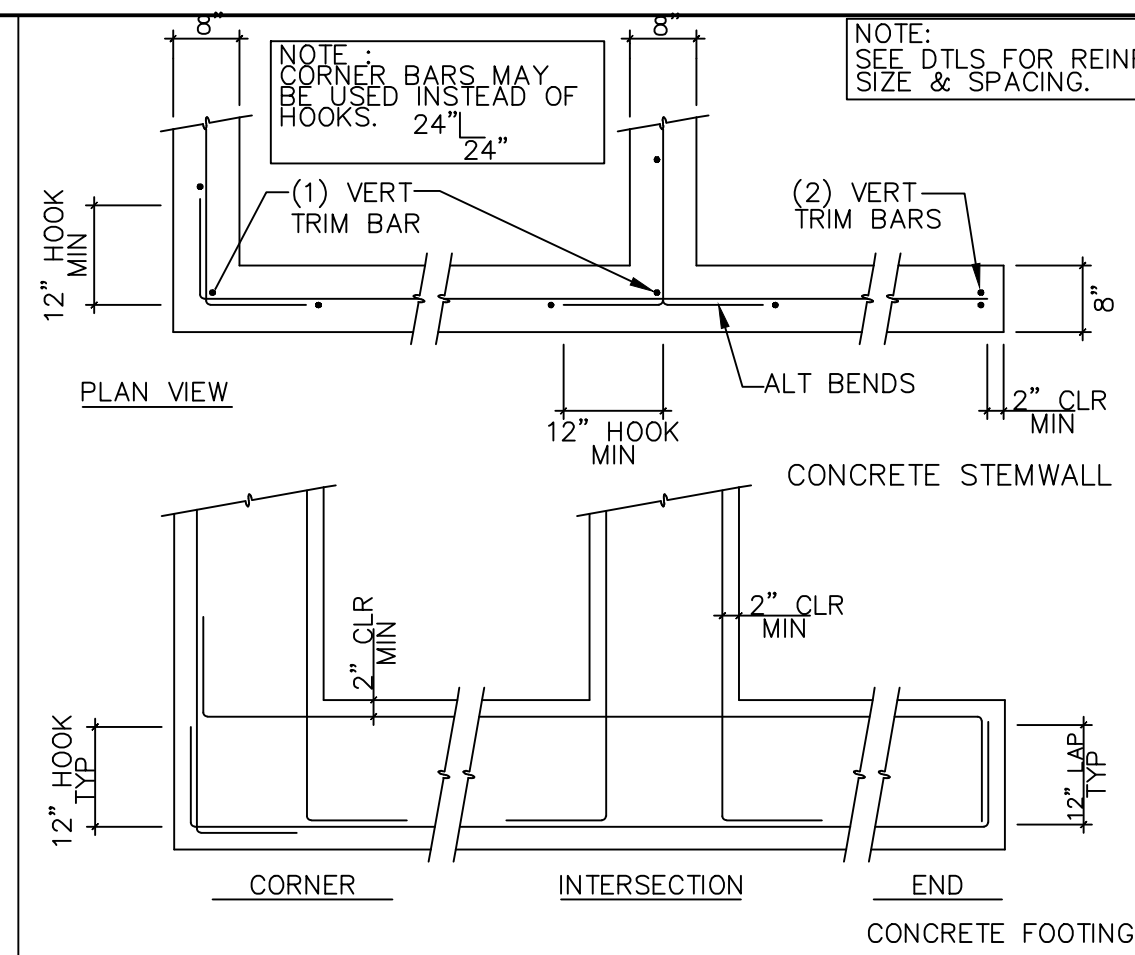
TYPE	FOOTING SIZE AND REINFORCING
F2.0	2'-0" SQ. x 10" THICK W/ 3-#4 BARS EA. WAY

**DRAG TRUSSES, DRAG STRUTS, AND DRAG STRAPS**

TYPE	DESCRIPTION
DT	DRAG TRUSS: ALIGN WITH SHEAR WALL WHERE SHOWN ON PLANS. NAIL ROOF PLYWOOD TO TOP CHORD OF TRUSS WITH 10d NAILS AT 4" O.C..

**LEGEND**

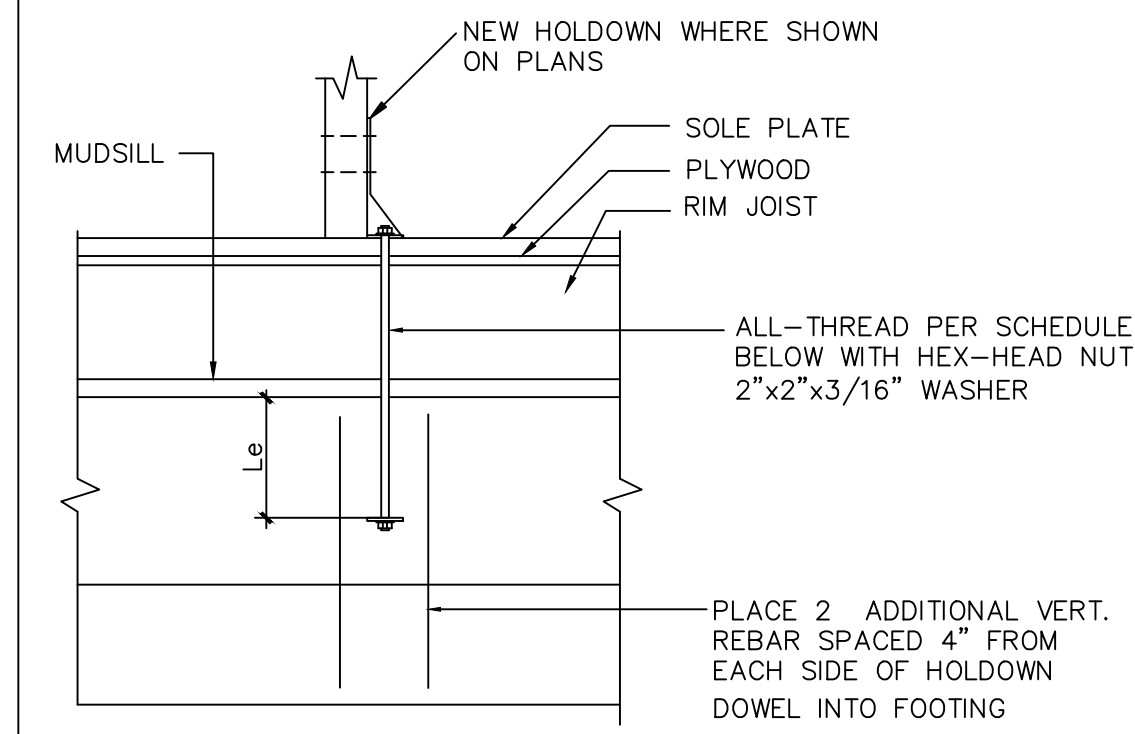
A.B.	ANCHOR BOLT	S	STUD
B.N.	BOUNDARY NAIL	T	TRIMMER
CONC.	CONCRETE	T.O.P.	TOP OF PLYWOOD
CONT.	CONTINUOUS	TYP.	TYPICAL
DIA.	DIAMETER	TYP.	TYPICAL UNLESS NOTED OTHERWISE
D.T.	DRAG TRUSS	WITH	WITH
(E)	EXISTING	AT	AT
E.A.	EACH	R	PLATE
E.N.	EDGE NAIL		
K	KING STUD		
O/	OVER		
O.C.	ON CENTER		
PLYW.	PLYWOOD		



**1 TYP. FTG./WALL INTERSECTIONS**  
NO SCALE S41

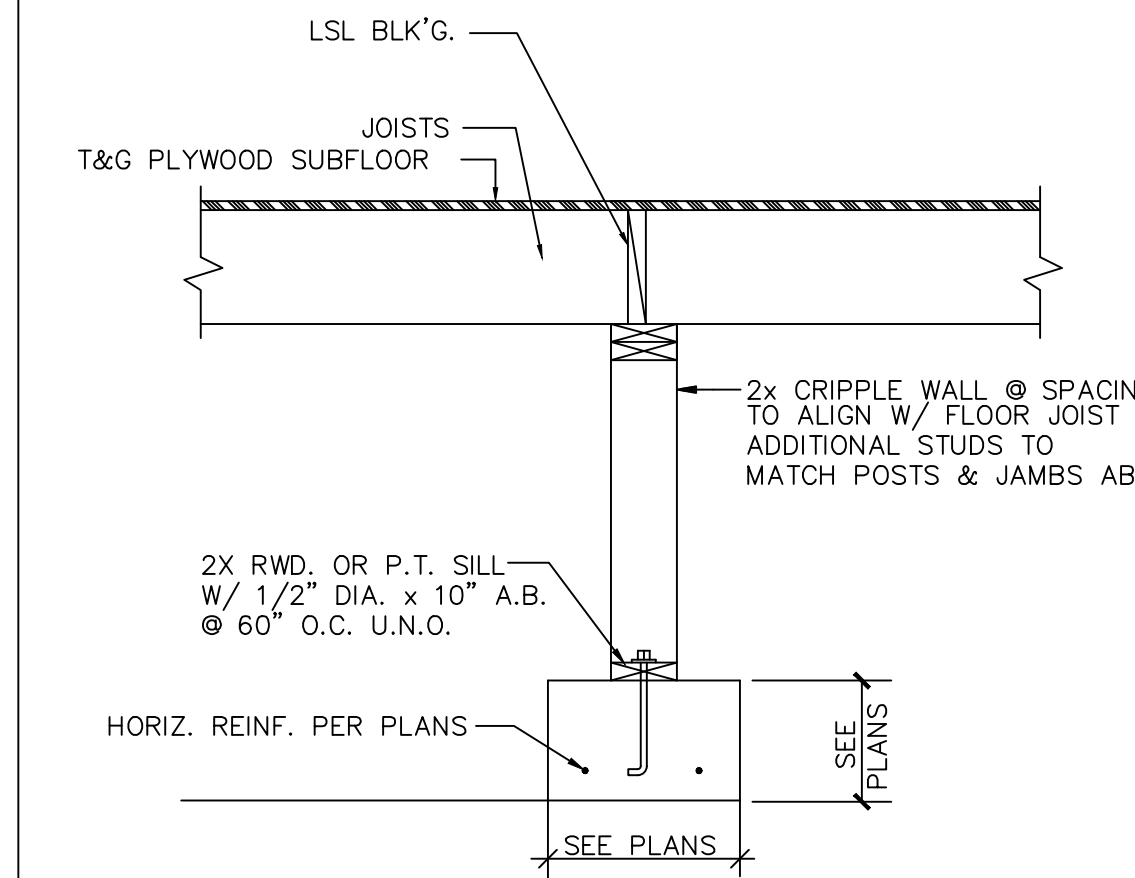
**NOTES:**

- SEE LATEST SIMPSON CATALOG FOR ADDITIONAL INFORMATION.
- USE MIN. A307 HEX HEAD ANCHOR BOLTS OR ALL-THREAD RODS W/ NUT EMBEDDED IN CONC.

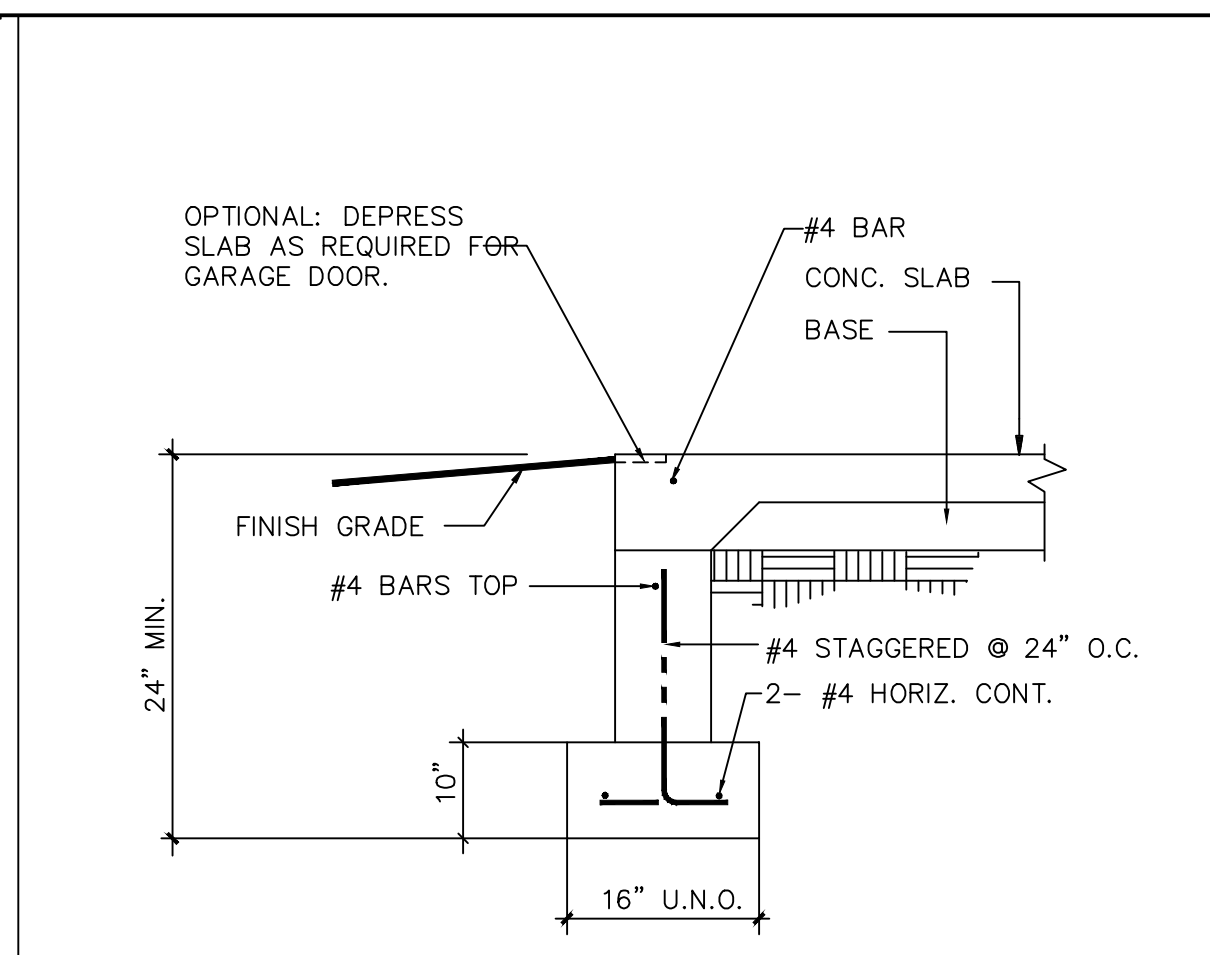


HOLD-DOWN REQUIREMENTS IN CONCRETE				
HOLD-DOWN MODEL	ALL-THREADS DIAMETER (INCH)	EMBEDMENT Le	MIN. POST SIZE	WOOD CONNECTION
HDU5-SDS2.5	5/8"	12"	(2) 2x	14-SDS1/4"x2 1/2"

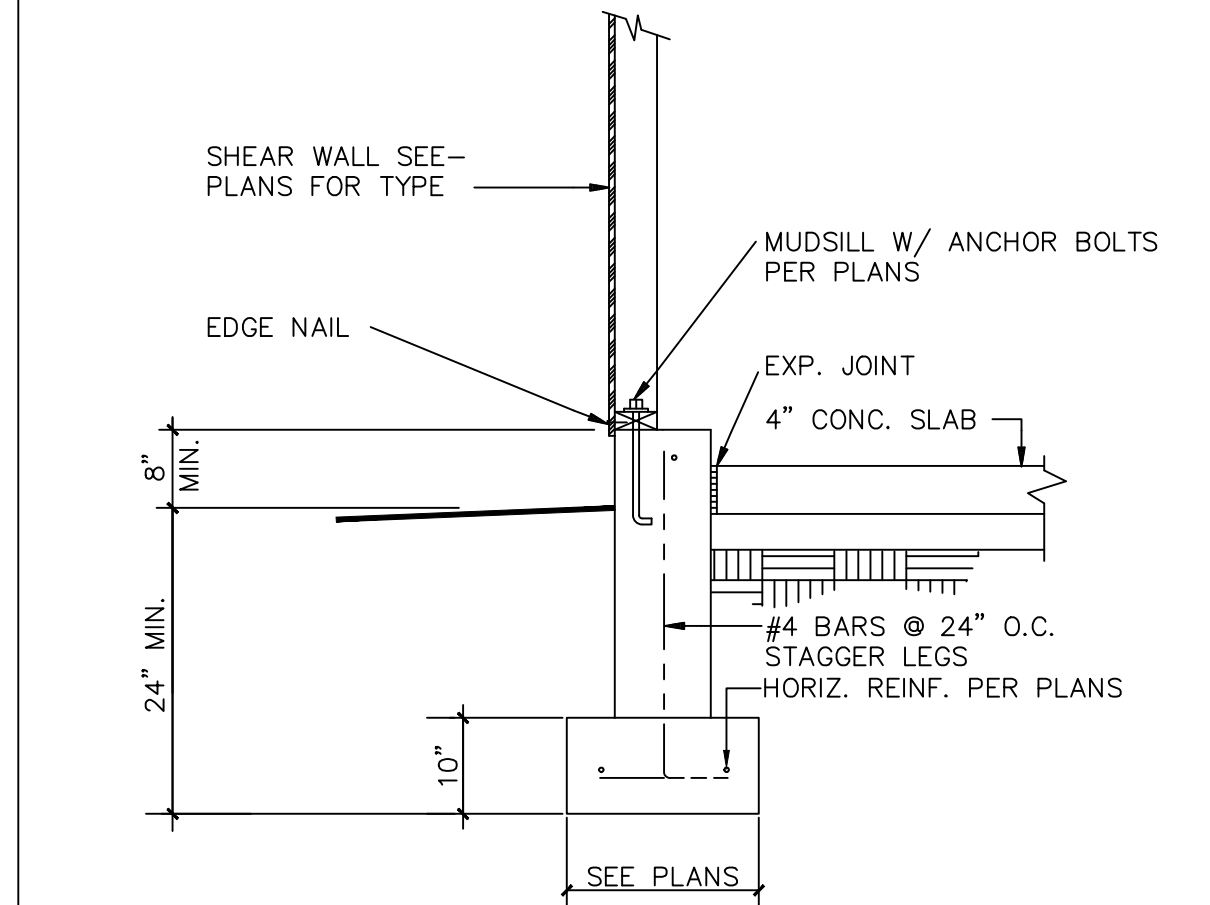
**2 HOLD-DOWN DETAIL**  
NO SCALE S12



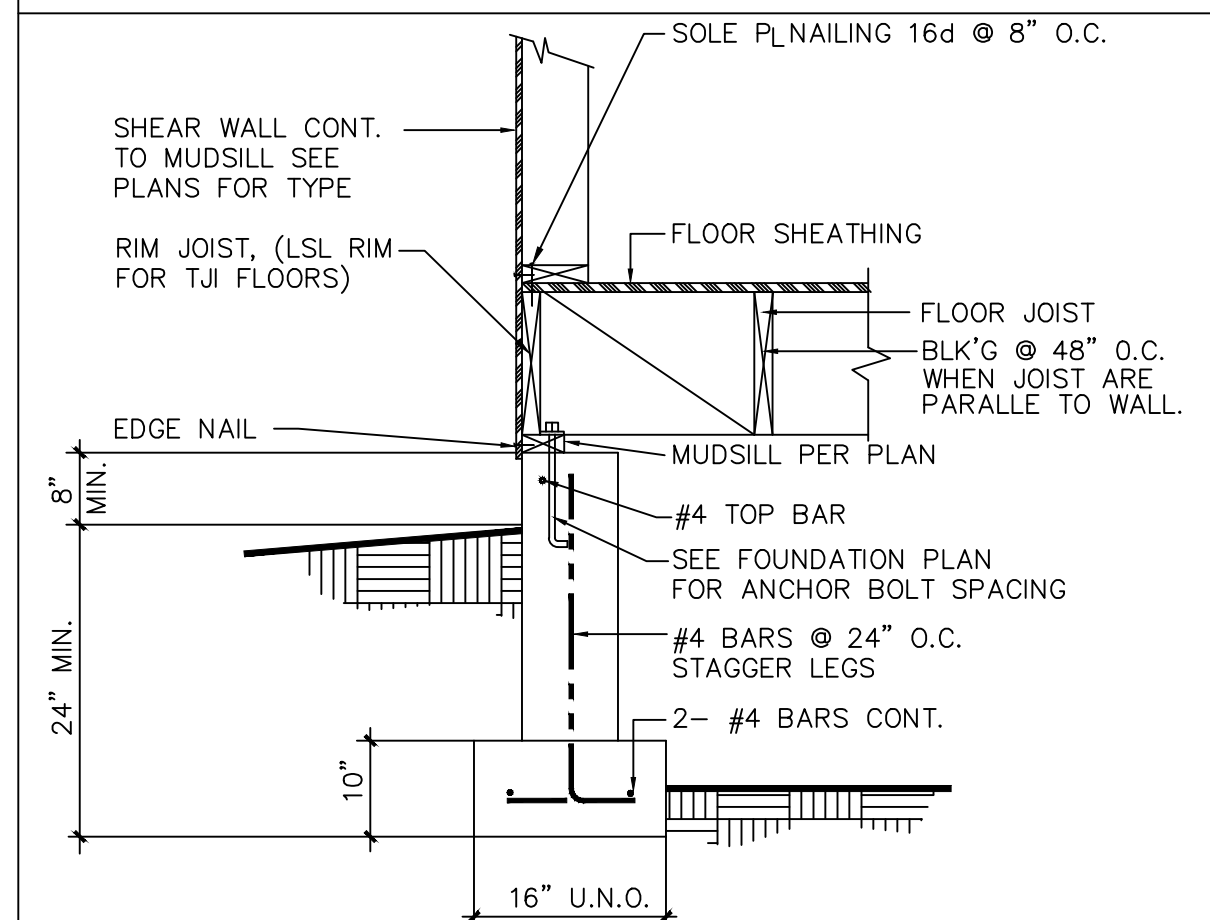
**3 INTERIOR FOOTING DETAIL**  
NO SCALE S12



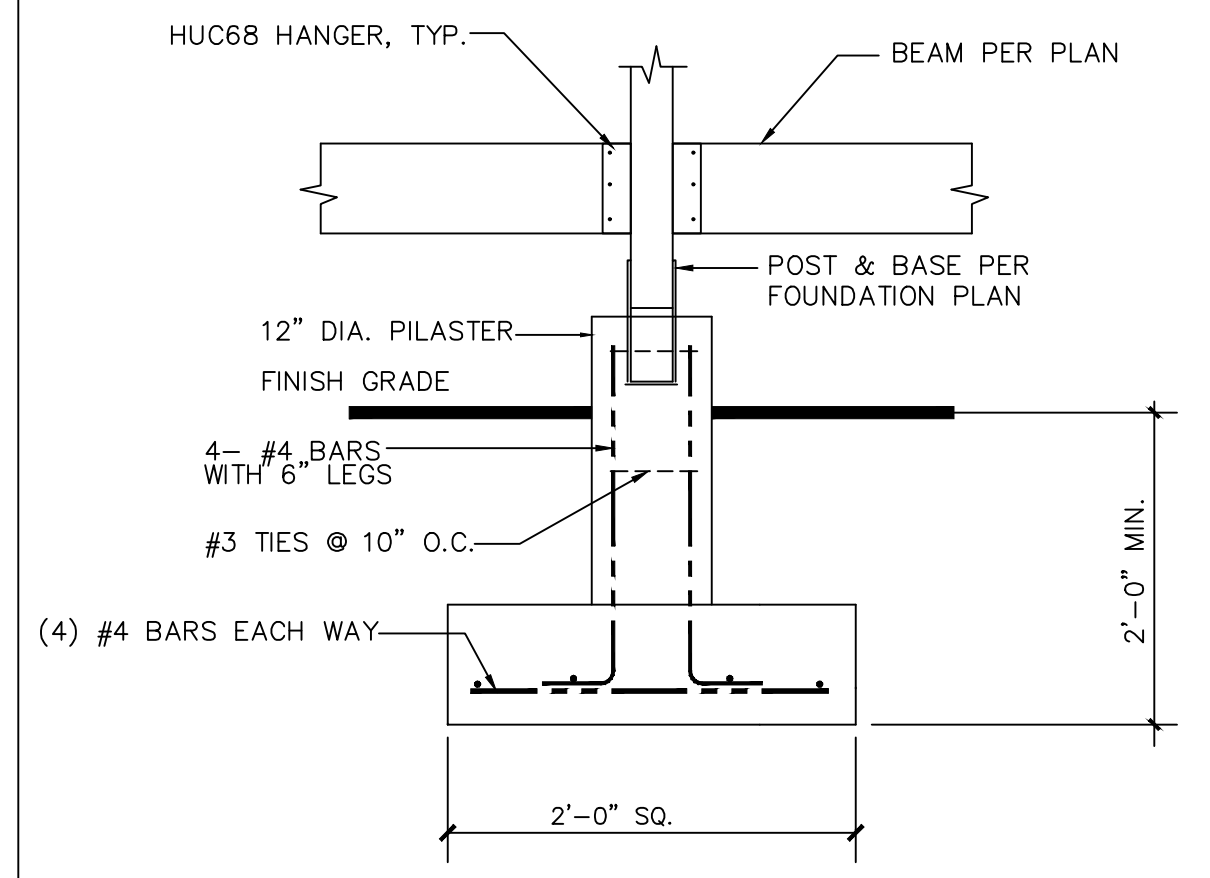
**4 GARAGE FOOTING @ DOORS**  
NO SCALE S35



**5 GARAGE FOOTING**  
NO SCALE S22



**6 TYPICAL EXTERIOR FOOTING**  
NO SCALE S10



**7 PIER FOOTING**  
NO SCALE S44Y

BY	DESCRIPTION
INDL.	DATE

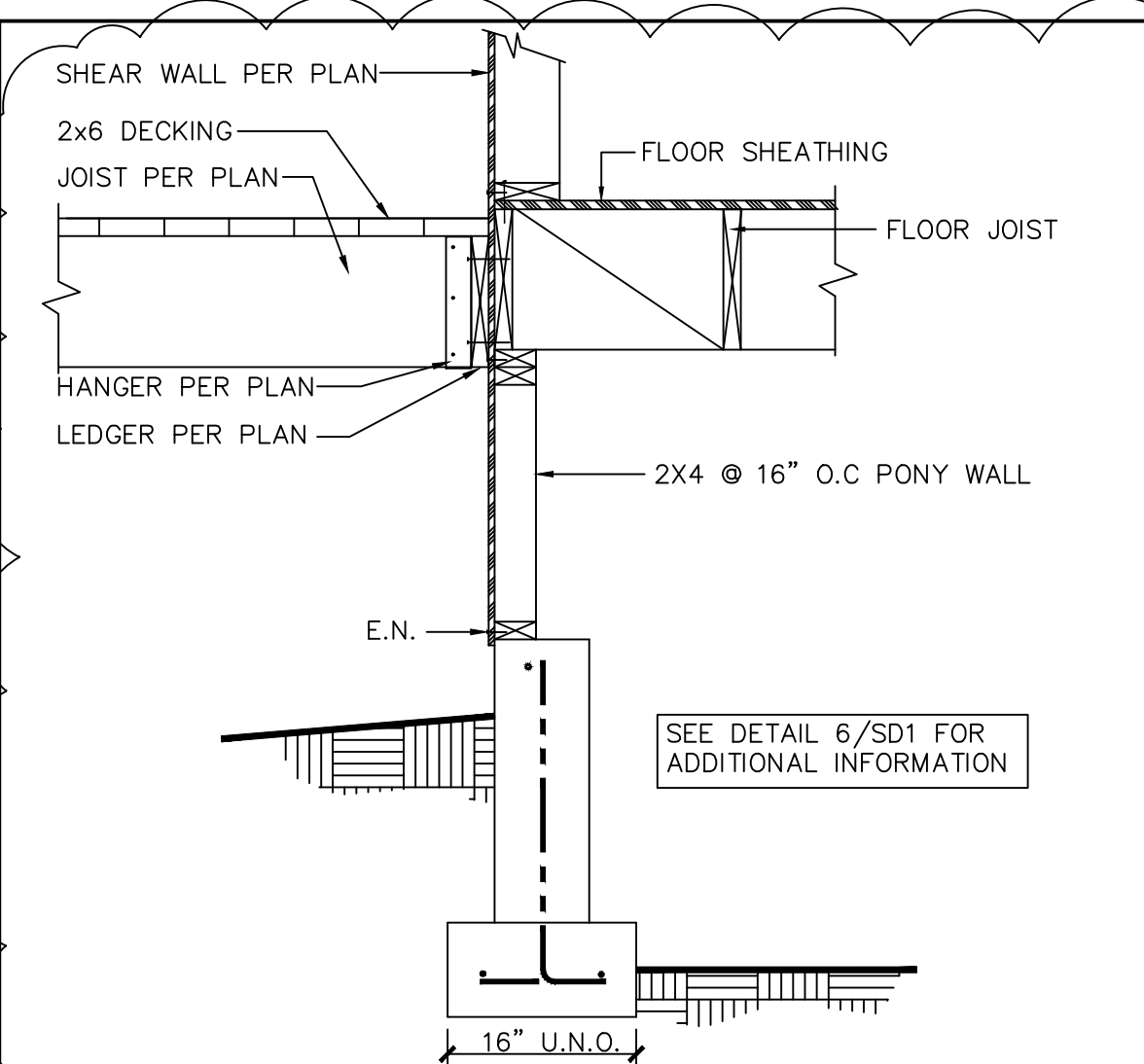


**Crom ENGINEERING**  
Civil & Structural Design  
Est. 1990  
1132 W. First St.  
Reno, NV 89503  
Cromsean@bol.com  
775.530.3188  
NV LIC. 6820

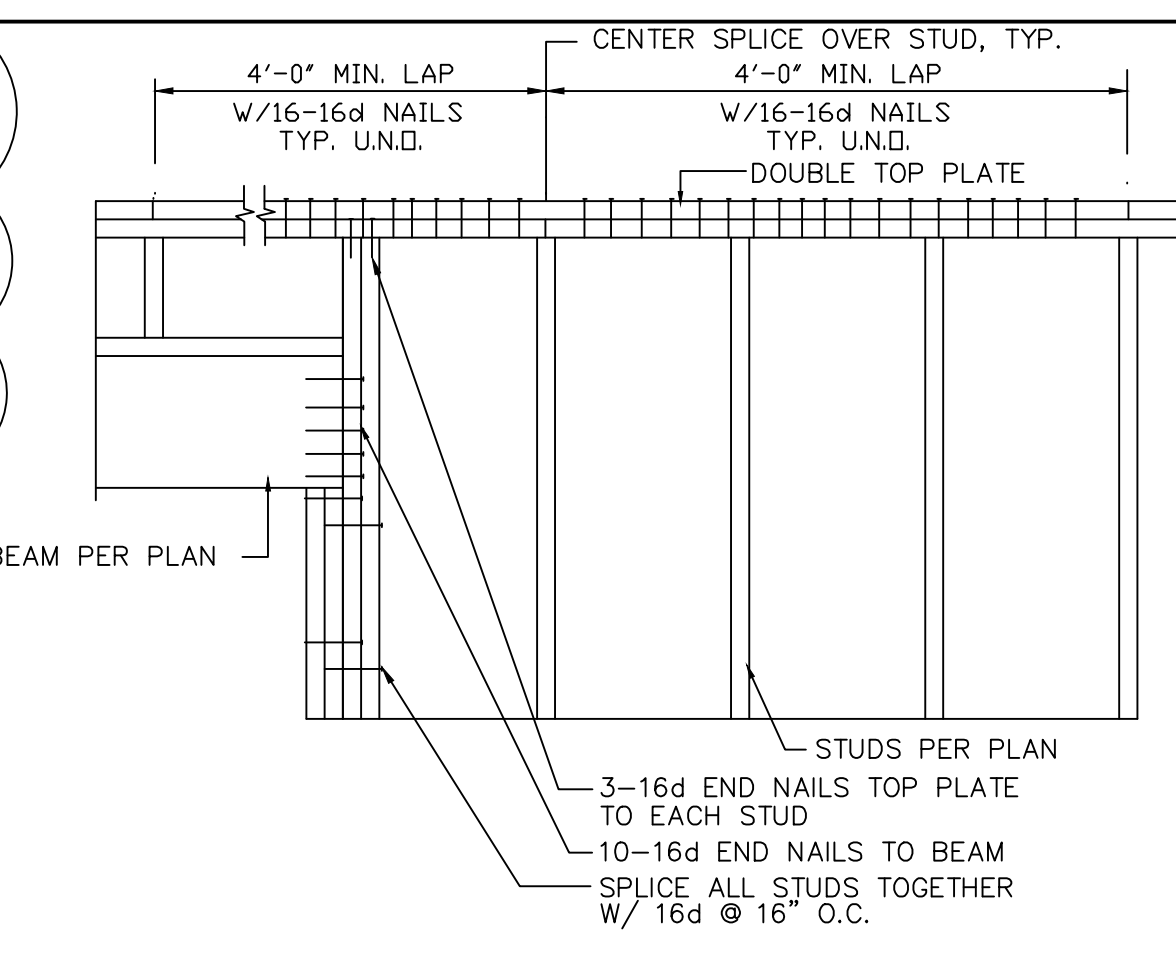
**SCHEFFEL GUESS HOUSE**  
2320 KINNEY LANE  
RENO, NEVADA

JOB No.	
DESIGNED	SEAN CROM
DRAWN	SEAN CROM
COMP.	
CHECKED	
DATE	3-25-2021

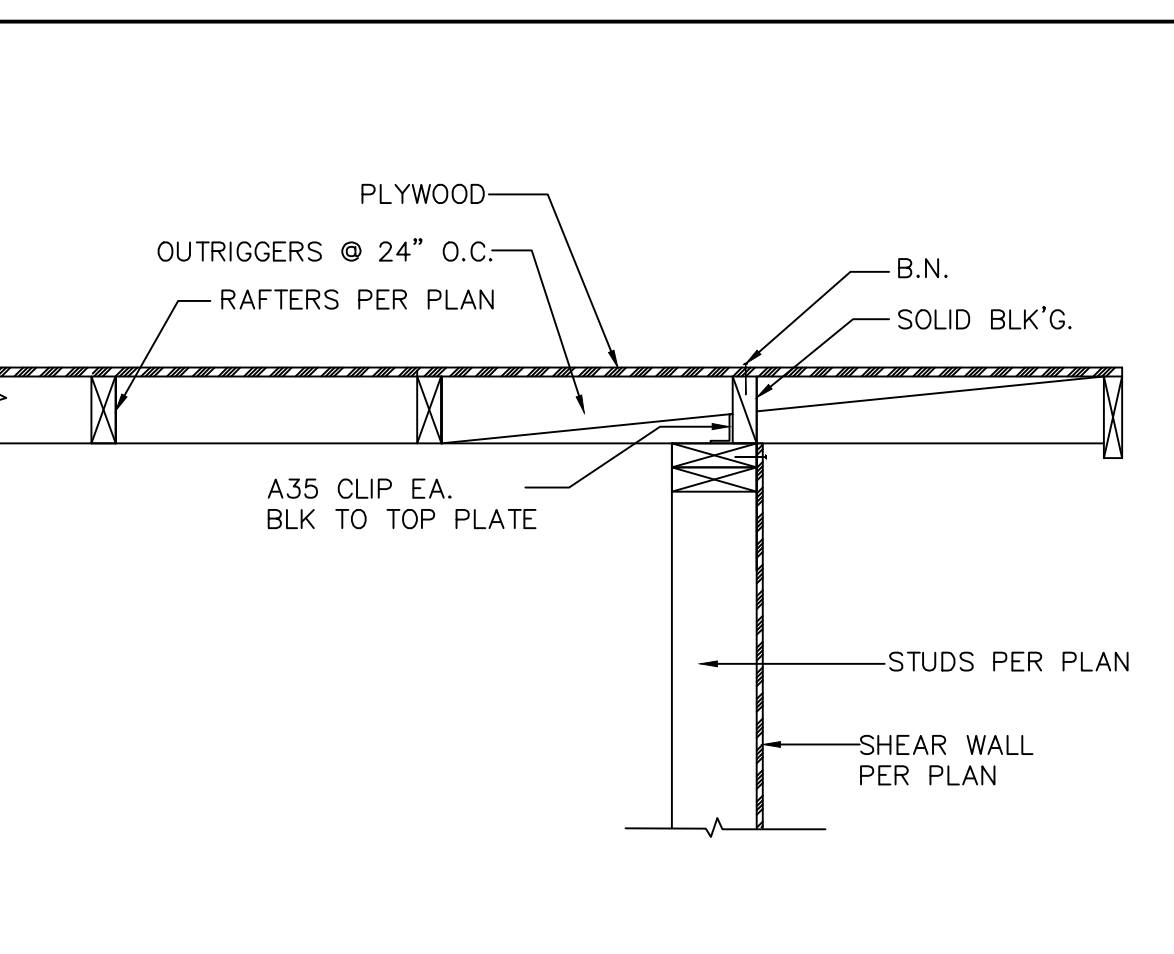
SHEET No.  
**SD1**  
OF



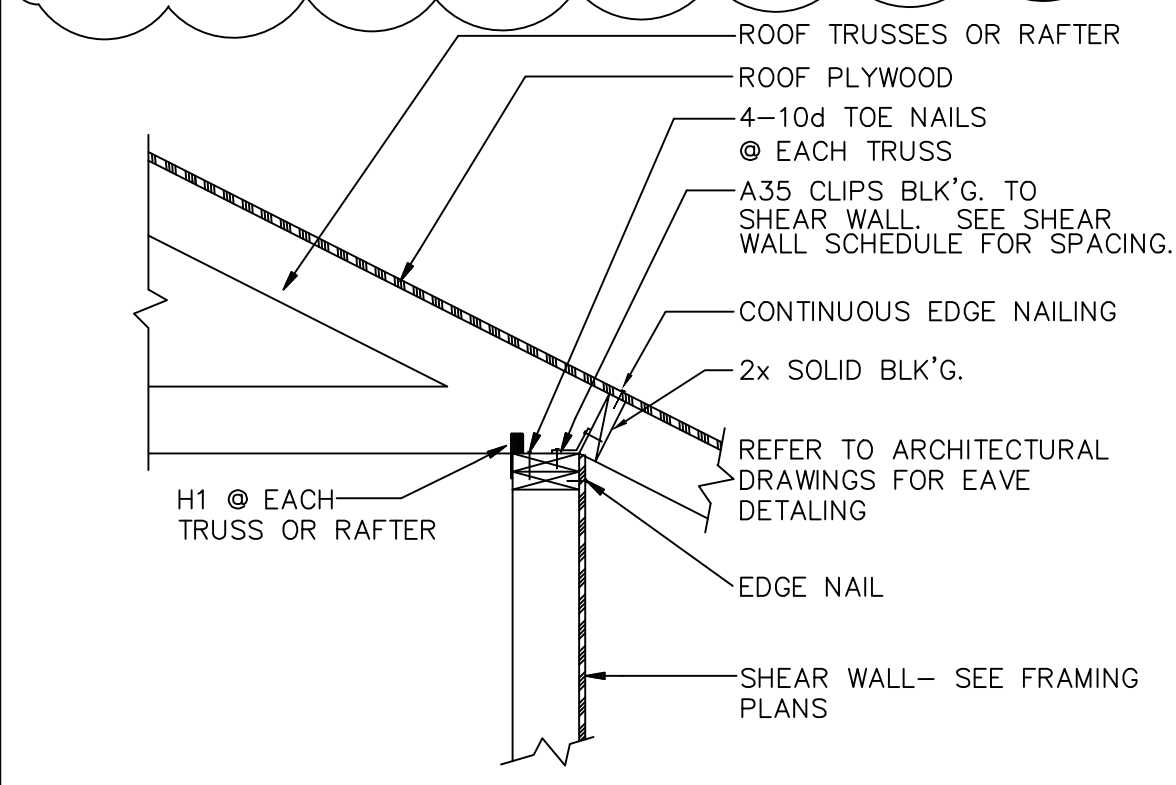
**1 TYPICAL EXTERIOR FOOTING**  
NO SCALE



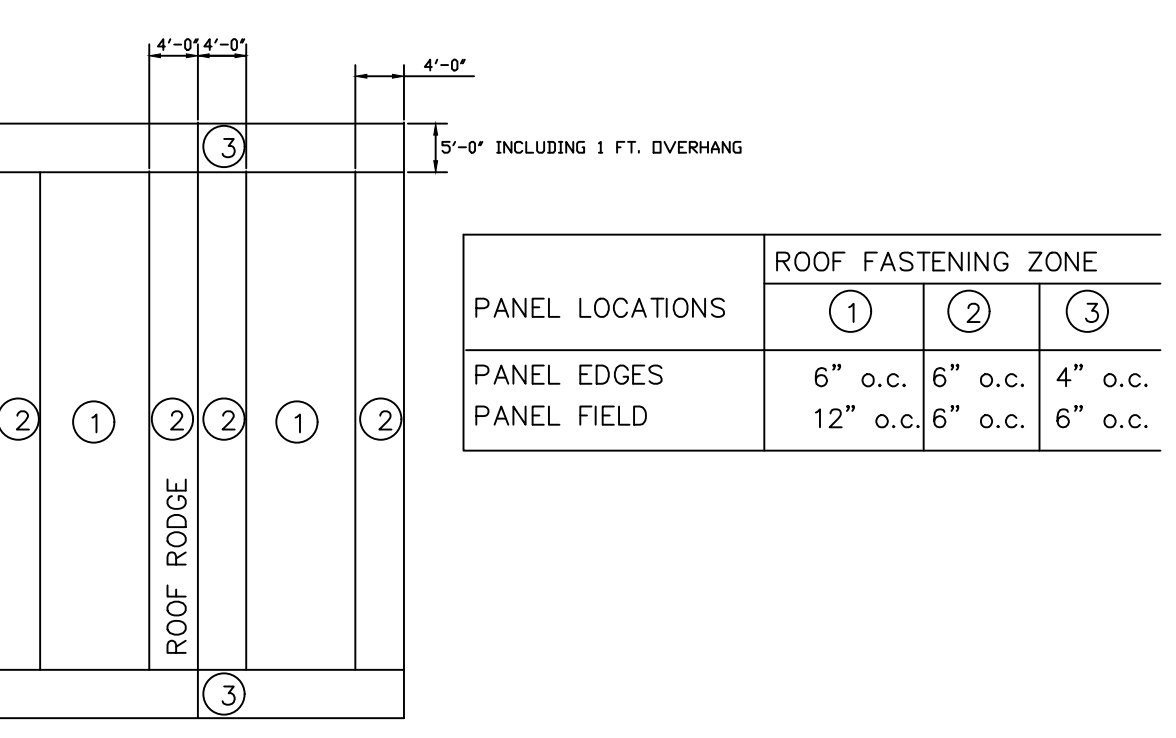
**5 TOP PLATE SPLICE DETAIL**  
NO SCALE S116F



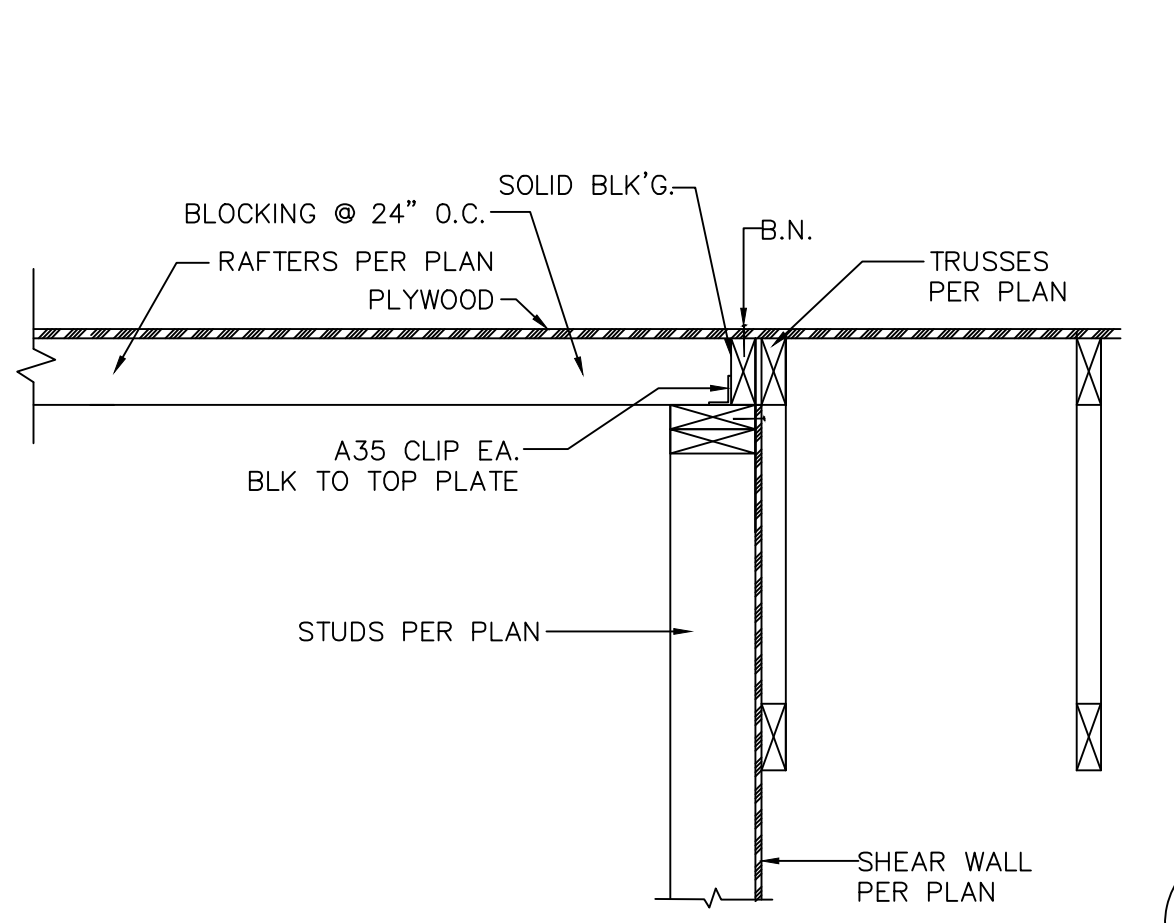
**9 SECTION**  
SCALE 3/4" = 1'-0"



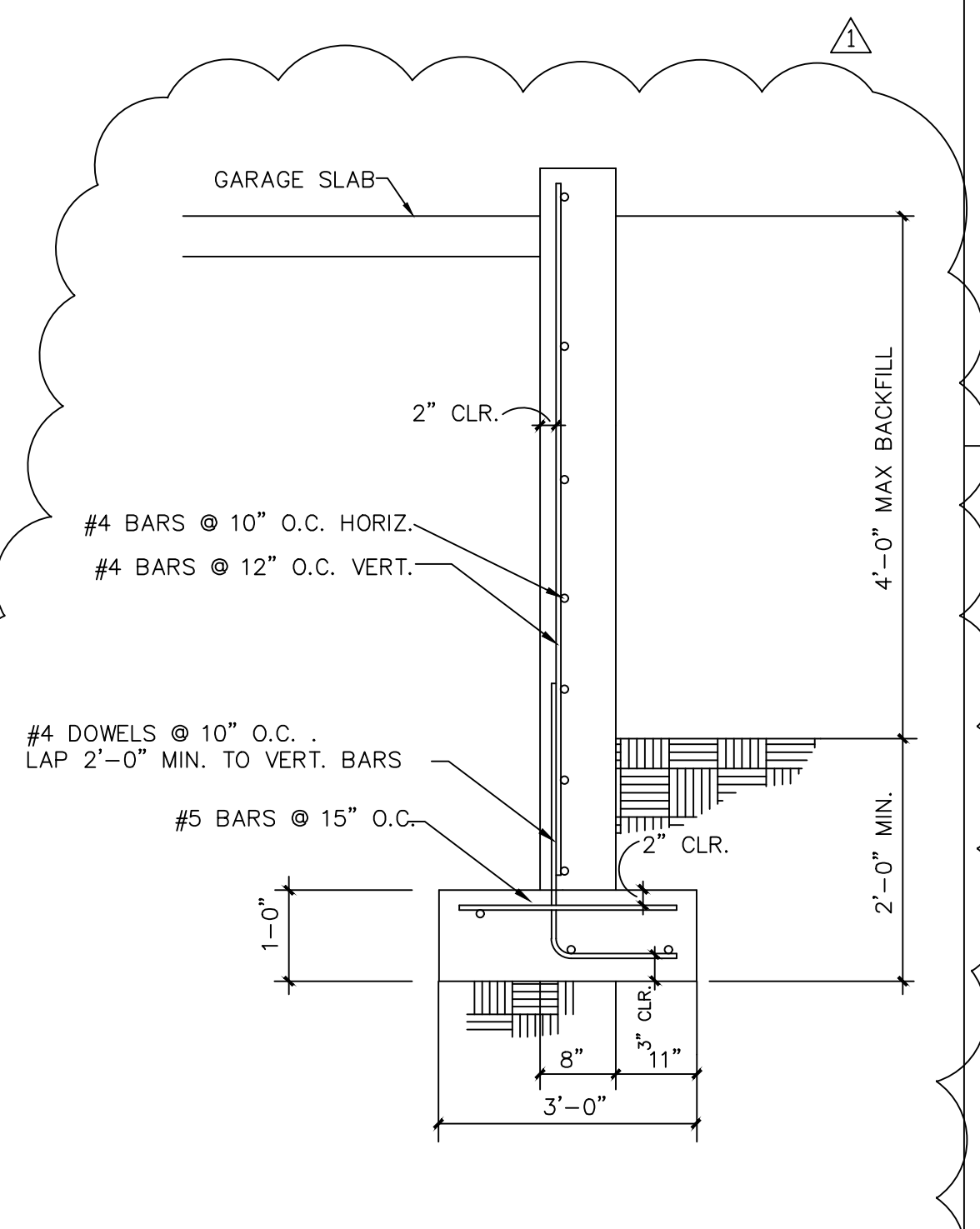
**2 ROOF EAVE DETAIL**  
NO SCALE S11



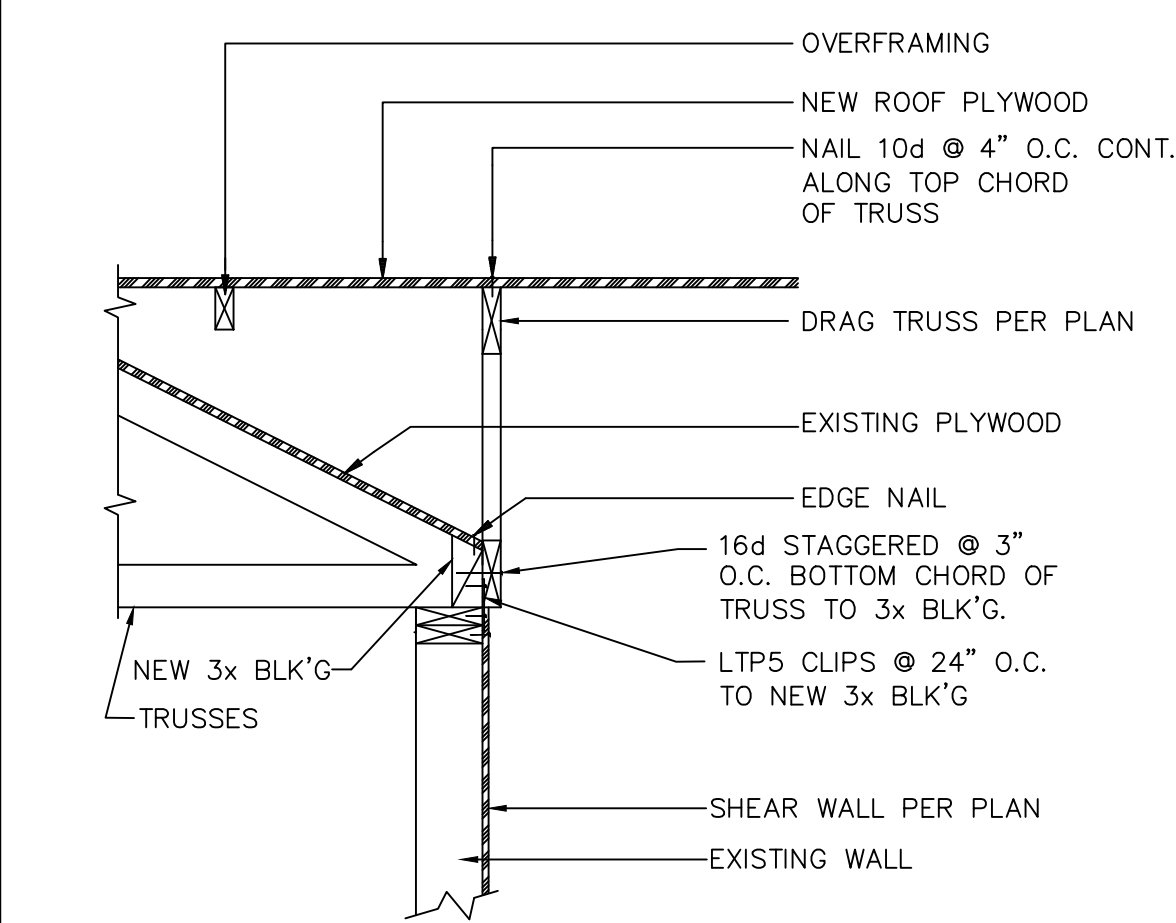
**6 MINIMUM ROOF DIAPHRAGM NAILING ZONES**  
NO SCALE S125



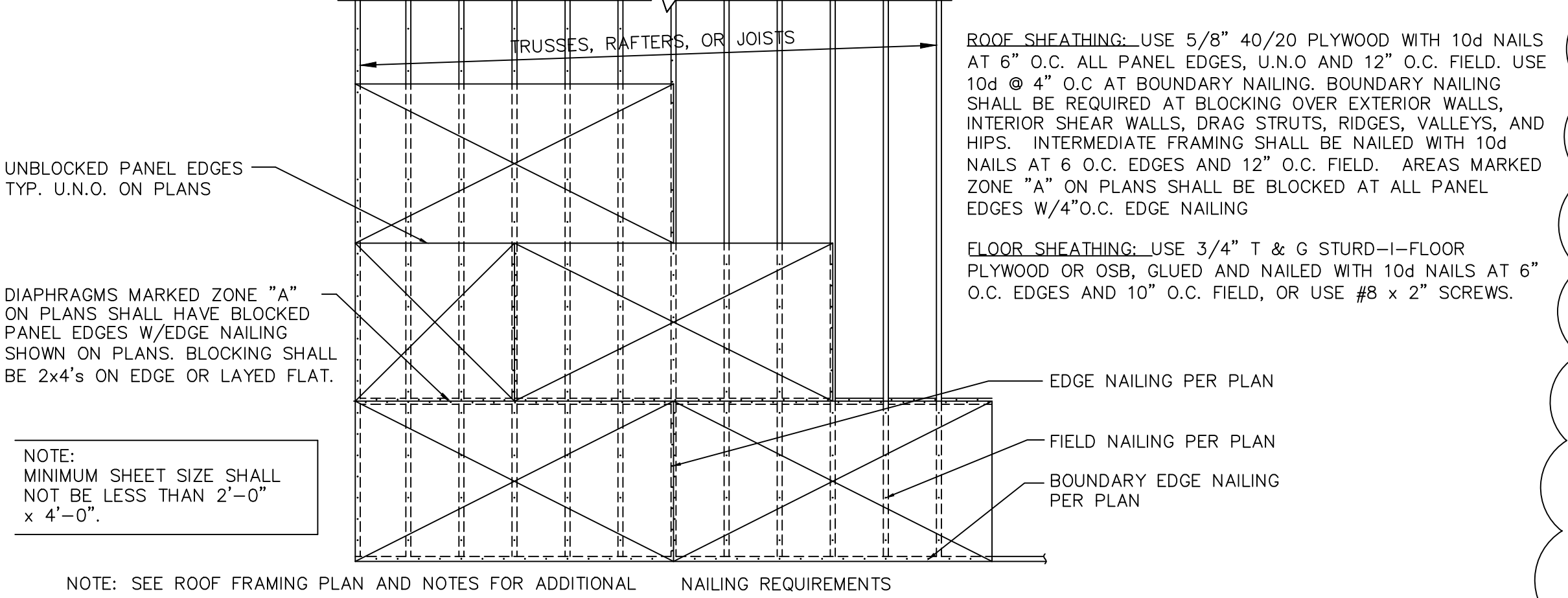
**10 SECTION**  
SCALE 3/4" = 1'-0"



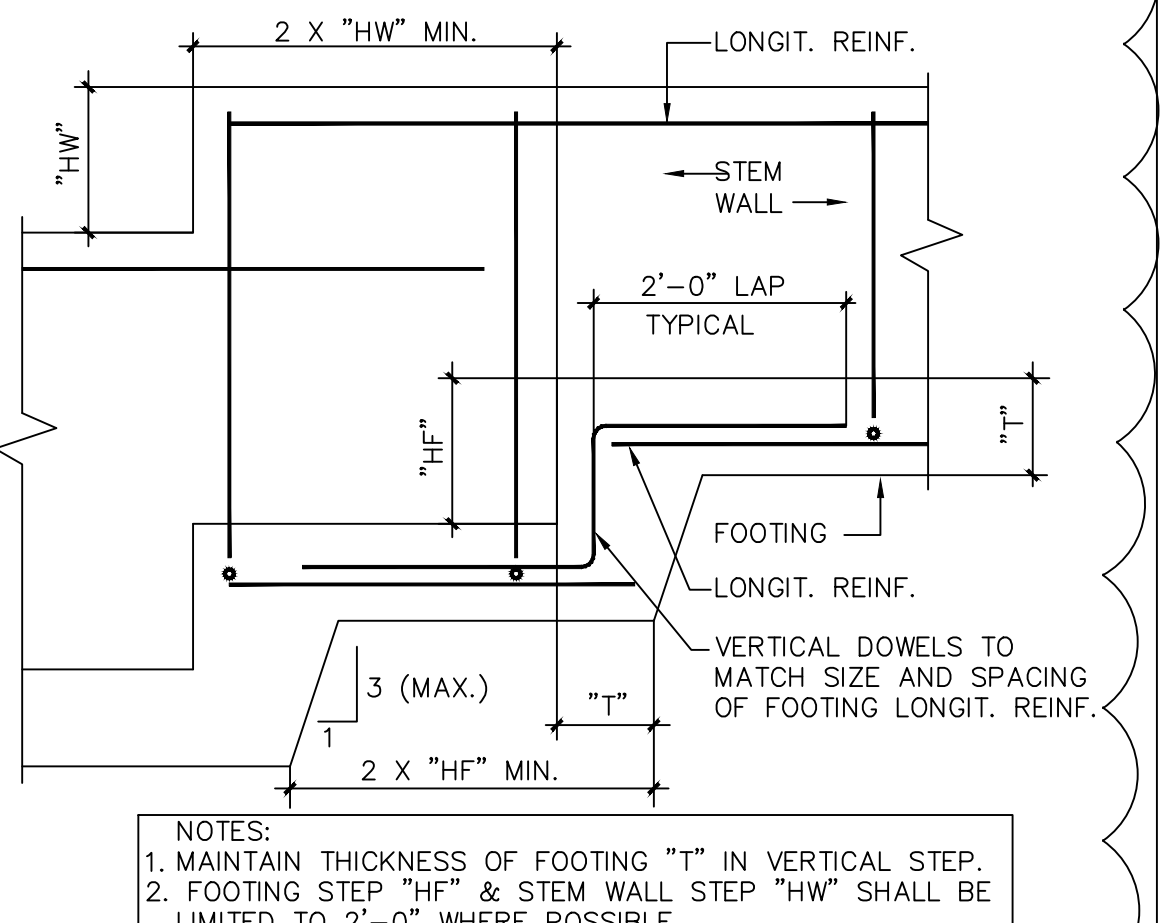
**11 RETAINING WALL DETAIL**  
NO SCALE S51b



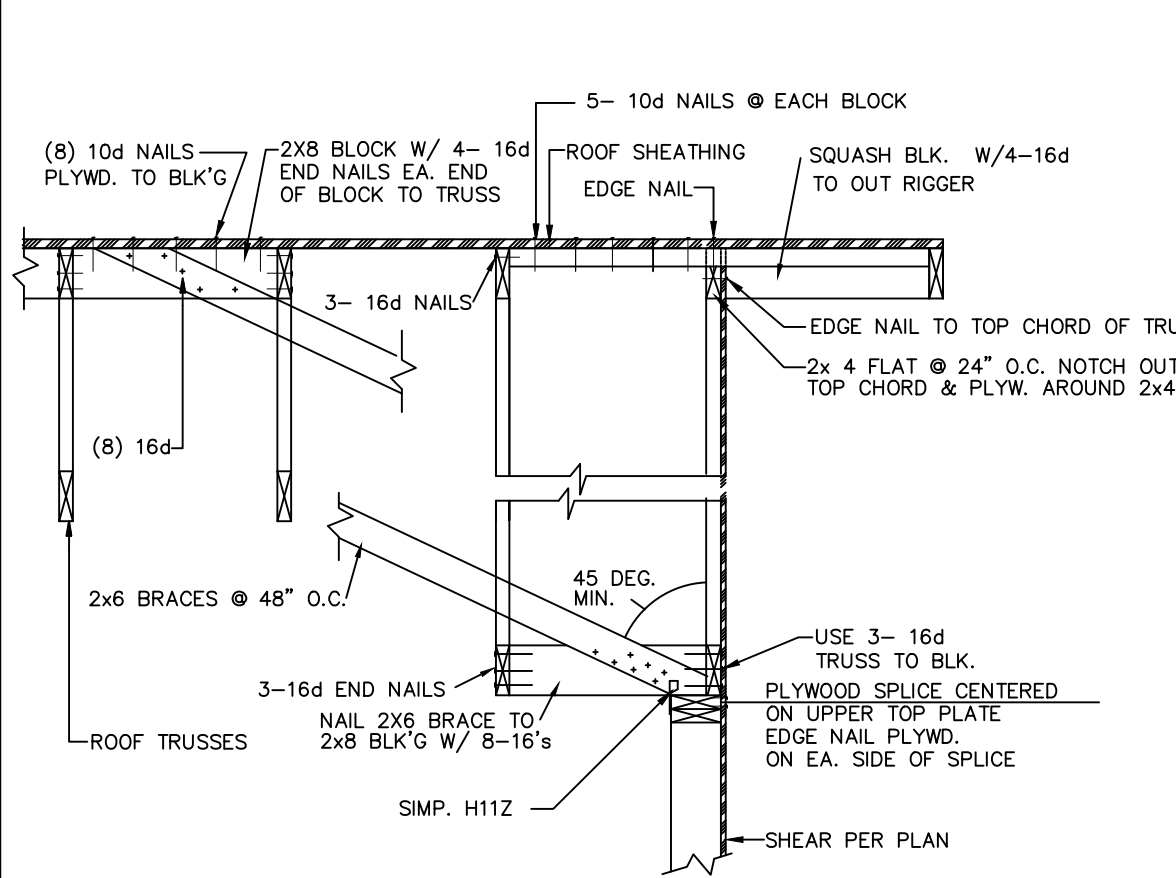
**3 SECTION**  
NO SCALE S25A



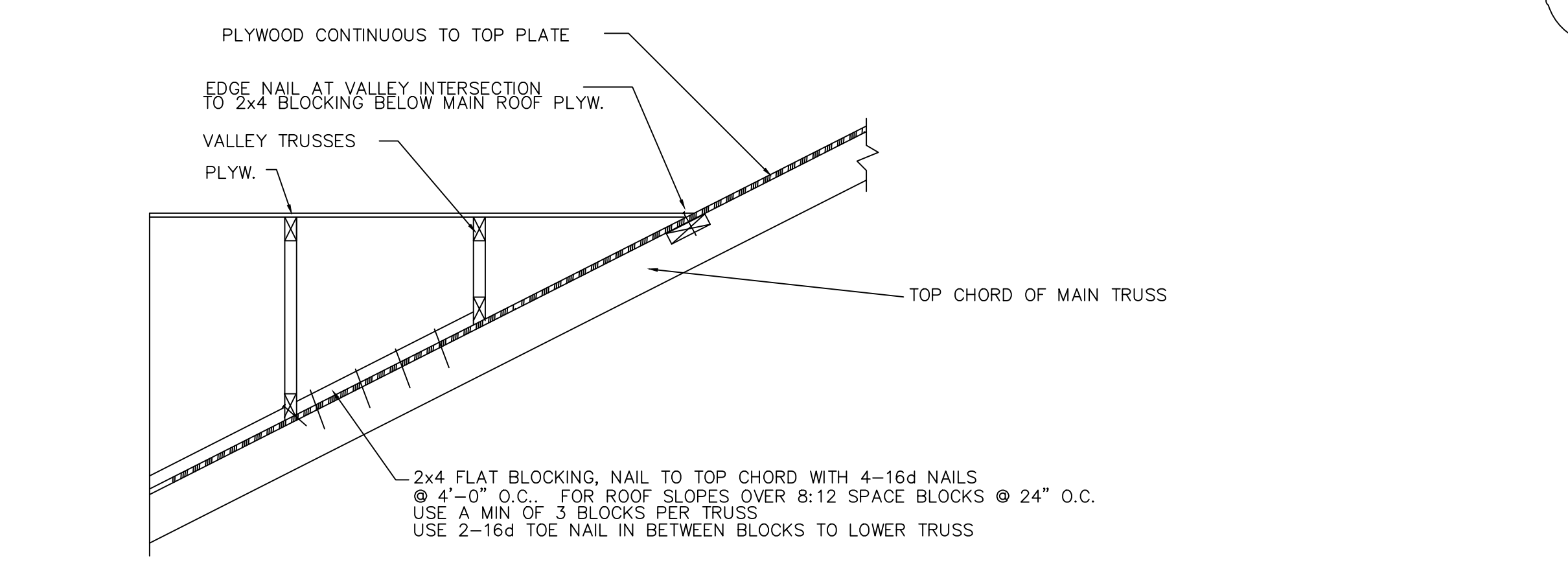
**7 HORIZONTAL DIAPHRAGM NAILING**  
NO SCALE S175a



**12 STEPPED FOOTING/STEM WALL**  
NO SCALE S41

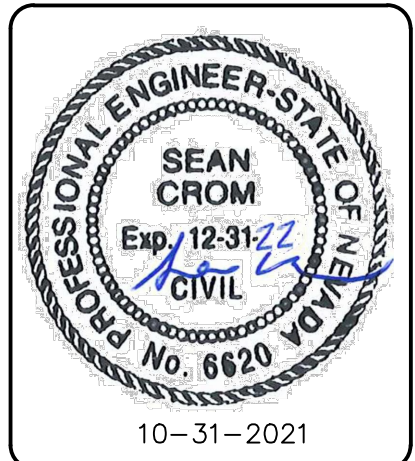


**4 GABLE END TRUSS**  
NO SCALE S15G



**8 VALLEY TRUSS DETAIL**  
NO SCALE S20C

BY	DESCRIPTION
SC	RETAINING WALL
DATE	10-31-21
NO.	1



**Crom ENGINEERING**  
Civil & Structural Design  
Est. 1990  
1132 W. First St.  
Reno, NV 89502  
CromEng.com  
CromSean@aol.com  
NV LIC 6620  
CA LIC C4518

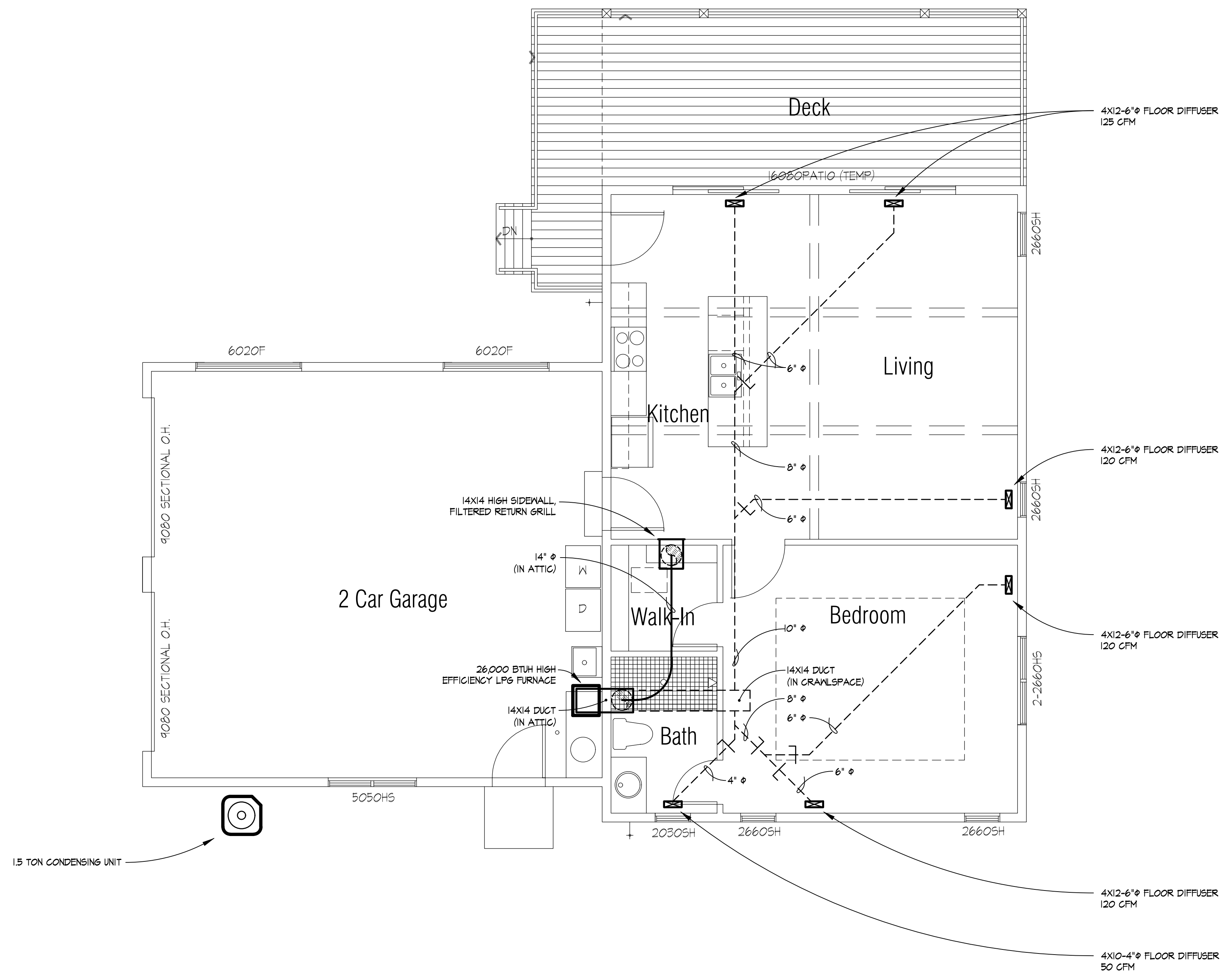
**SCHEFFEL GUESS HOUSE**  
2320 KINNEY LANE  
RENO, NEVADA

JOB No.	
DESIGNED	SEAN CROM
DRAWN	SEAN CROM
COMP.	
CHECKED	
DATE	3-25-2021

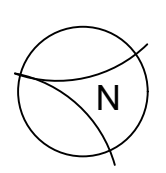
SHEET No.  
**SD2**  
OF

**GENERAL NOTES**

- DASHED LINES INDICATE DUCTWORK IN CRAWLSPACE.
- FIELD COORDINATE DUCT AND PLUMBING ROUTING IN FIELD WITH PLUMBER.

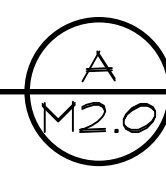


**SCHEFFEL GUEST HOUSE**  
2320 KINNEY LANE  
WASHOE COUNTY, NV



**MECHANICAL PLAN - LINE DIAGRAM**

SCALE: 1/4"=1'-0"



CONTRACTOR	
These Plans Are Prepared And Submitted By The Contractor As An Exception To NRS 623.035 For The Work Under The Contractor's License Category Authorized Under NRS 624.	
Brown & Read Engineering, Inc.	JAMES DEL CASTILLO
Company Name	Contractor Representative
56119 & 56120	
Contractor License Number	
J.D.	<i>James Del Castillo</i>
Plans Prepared By:	Signature

These plans may not be used as a basis for installation by any contractor other than Brown & Read Engineering, Inc.

DATE: 9-30-22

SCALE: AS SHOWN

DRAWN: JD

JOB: 20-642

SHEET

M2.0