

ADMINISTRATIVE REVIEW PERMIT

FOR

The O'Neal Detached Accessory Dwelling

Prepared For:

O'Neal Family Trust, C & S
1020 N Cantlon Ln
Reno, NV 89521

Prepared By:



575 E. Plumb Lane, Suite 101
Reno, NV 89502
775.636.7905

January 2022

21.024

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Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: The O'Neal Guest House			
Project Description: A detached accessory dwelling			
Project Address: 11090 Thomas Creek Road, Washoe County, NV 89511			
Project Area (acres or square feet): 18.132 Acres			
Project Location (with point of reference to major cross streets AND area locator): The site is on the east side of Thomas Creek Rd, between Palmira Dr and Foothill Rd.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
044-391-27	18.132		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). n/a			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: O'Neal Family Trust		Name: Monte Vista Consulting, Ltd.	
Address: 1020 N. Cantlon Lane		Address: 575 E. Plumb Lane, Suite 101	
Reno, Nevada	Zip: 89521	Reno, NV	Zip: 89502
Phone: 805.451.3281	Fax:	Phone: 775.636.7905	Fax:
Email: chris@jointventuresllc.com		Email: mike@montevistaconsulting.com	
Cell:	Other:	Cell:	Other:
Contact Person: Chris Oneal		Contact Person: Michael Vicks, P.E.	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Owner		Name: Copenhaver Architecture	
Address:		Address: 136 Ridge Street	
	Zip:	Reno, Nevada	Zip: 89501
Phone:	Fax:	Phone: 775.343.9919	Fax:
Email:		Email: todd@copenhaverarch.com	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person: Todd Copenhaver	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: CHRISTOPHER ONEAL

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, CHRISTOPHER ONEAL
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): _____

Printed Name CHRISTOPHER ONEAL

Signed [Signature]

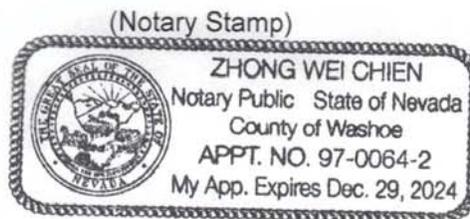
Address 1020 N. CANTON LN, RENO, NV
89521

STATE OF NV, COUNTY OF WASHOE

Subscribed and sworn to before me this
13 day of DECEMBER, 2021.

[Signature]
Notary Public in and for said county and state

My commission expires: 12/29/2024



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

**Administrative Review Permit Application
for a Detached Accessory Dwelling
Supplemental Information**

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

6,714 SF

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

1,130 SF

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

See Narrative

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

Yes, new driveway access is proposed and (2) parking spaces are provided (1 garage, 1 driveway).

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

See Narrative.

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please provide information on the secondary unit.
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10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	Private Septic	Private Septic
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Management	Waste Management
Water Service	Private Well	Private Well

Project Information

Location: 11090 Thomas Creek Rd

APN: 044-391-27

Site Area: 18 ac

Zoning: HDR 82%/ GR 18%

Master Plan Designation: Rural Residential

Proposed Use: Single Family Residential

Administrative Permit Required for: Per Washoe County Code 110.306.25 Detached Accessory Dwellings

Pre-Development Discussion

Existing Conditions & Development:

The site is currently undeveloped consisting of native grasses and brush. Access to the site is from Thomas Creek Rd. The site has historically been used as open pasture without any previous development. Existing improvements consist of flood irrigation channels and fencing. The site is bounded on the east by the Thomas Creek.

Surrounding Properties:

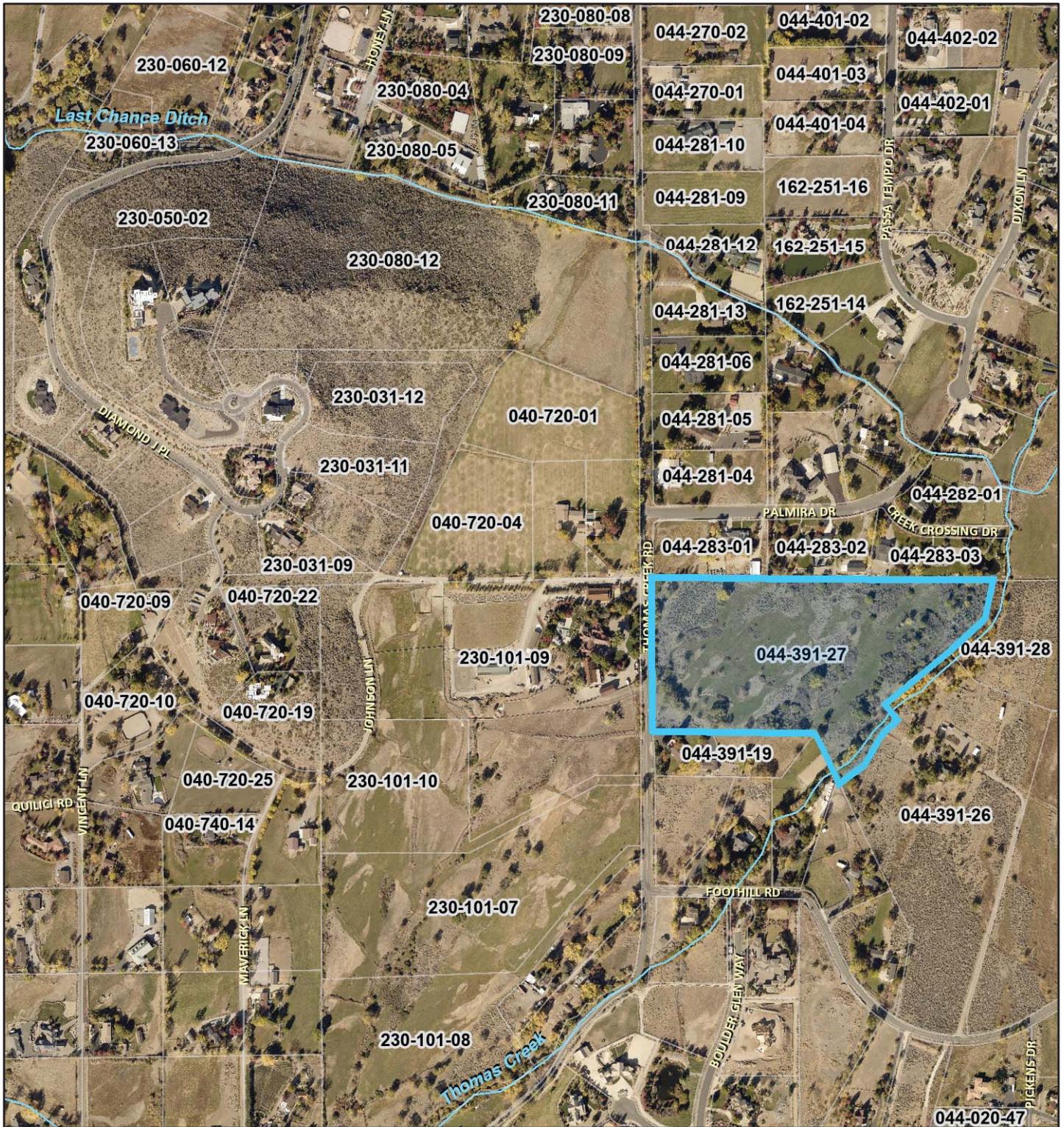
- | | | |
|---|-----------------|-------------------|
| ○ North: Developed Residential | Zoning: HDR, GR | Use: SFR |
| ○ South: Developed Residential | Zoning: HDR | Use: Vacant |
| ○ East: Undeveloped & Developed Residential | Zoning: HDR, GR | Use: Vacant & SFR |
| ○ West: Thomas Creek Road, Undeveloped &
Developed residential | Zoning: HDR | Use: Vacant & SFR |

Proposed Development Discussion

Proposed Improvements:

The proposed single-family residence, guest house and detached garage are consistent with the master plan and zoning. Improvements include the construction of a 6,714 s.f. main residence, a 1,130 s.f. guest house and associated driveways, utility connections and drainage improvements. The site is served by a private onsite well as well as a private septic system. In association with the proposed work, the disturbed area will be landscaped adjacent to the residence and the remainder will be revegetated with natural vegetation while maintaining the required defensible space requirements. All development will be consistent with single family residential development.

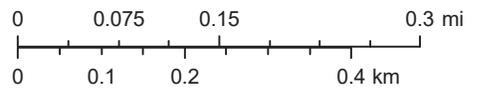
The main house is designed to have a modern farmhouse appearance. The aesthetic is one of steep pitched roofs with gables and dormers, large covered porch areas, and all with period appropriate materials and colors. The guest house will mimic this aesthetic. It will comprise the covered porch areas, a roof pitch to match the existing house and period appropriate siding that will compliment the color of the main house. Many of the same materials will be seen on the exterior of the guest house as the main house. In particular, the roofing and the porch columns.



January 7, 2022

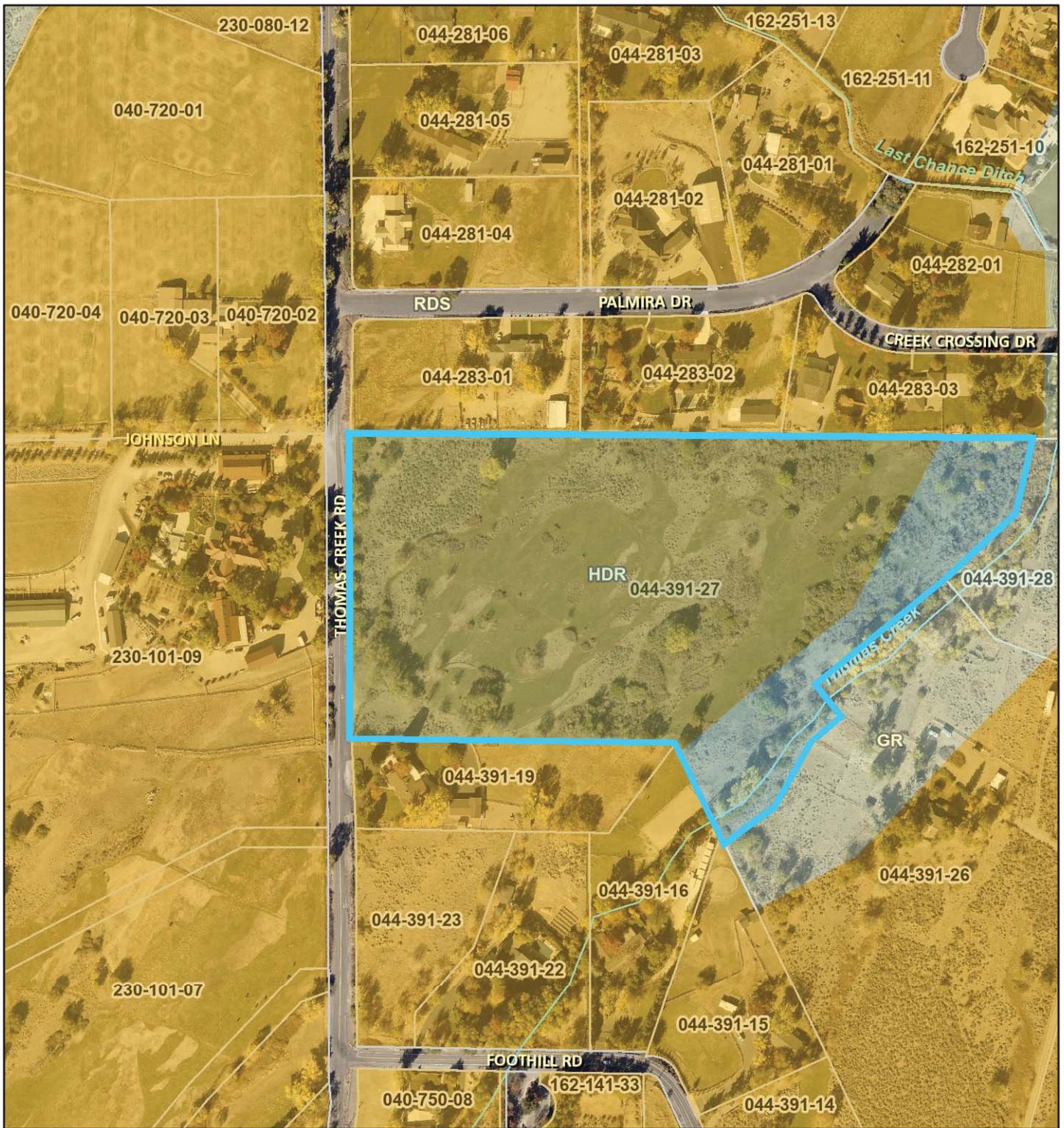
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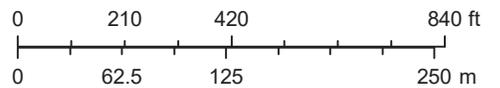
Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community
Washoe County GIS

This information for illustrative purposes only. Not be used for boundary resolution or location and not intended to be used for measurement, calculation, or delineation.



January 7, 2022

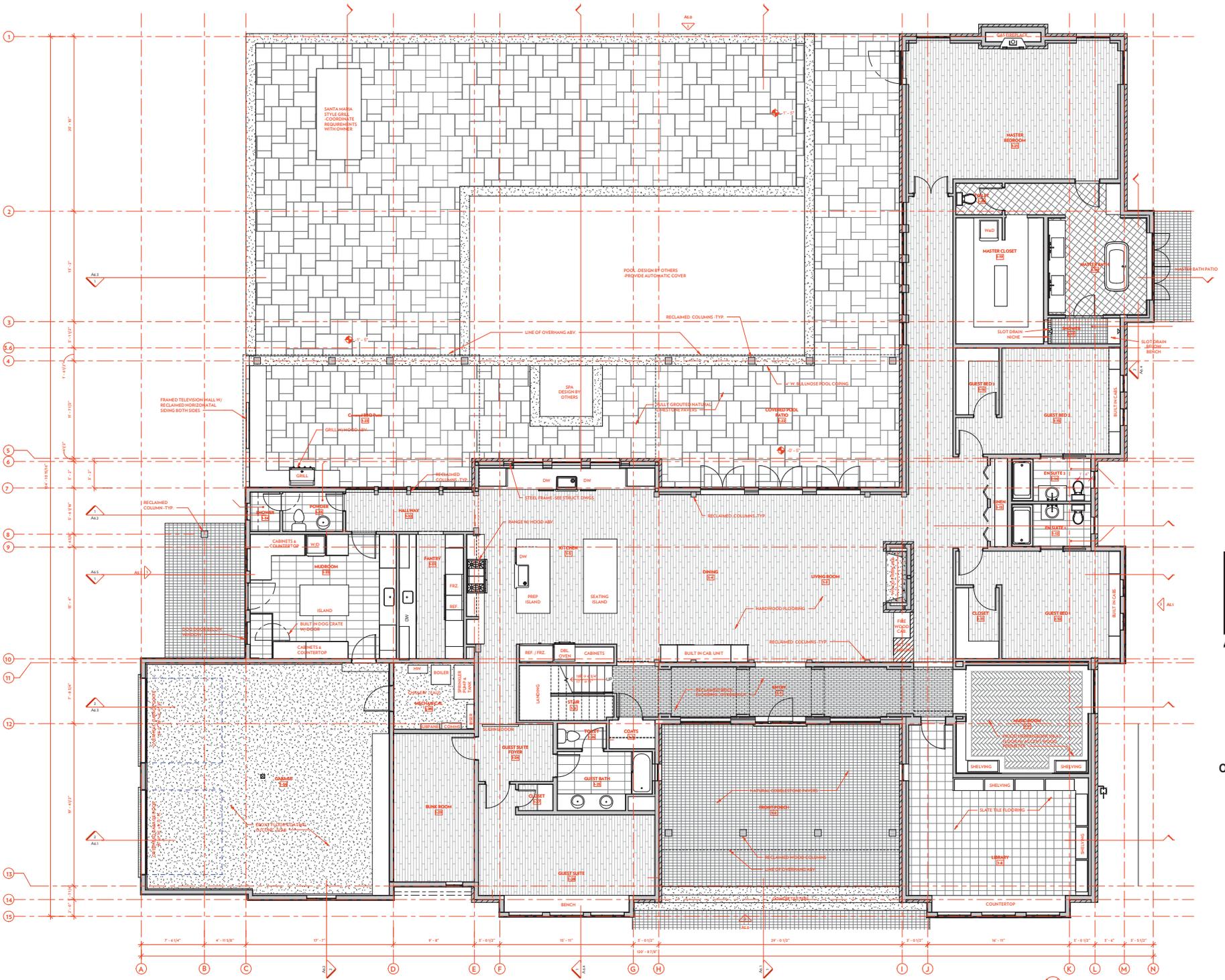
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Washoe County
 Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS,
 USDA, USGS, AeroGRID, IGN, and the GIS User Community
 Washoe County GIS

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Reduced Plans



First Floor Plan
1/4" = 1'-0"

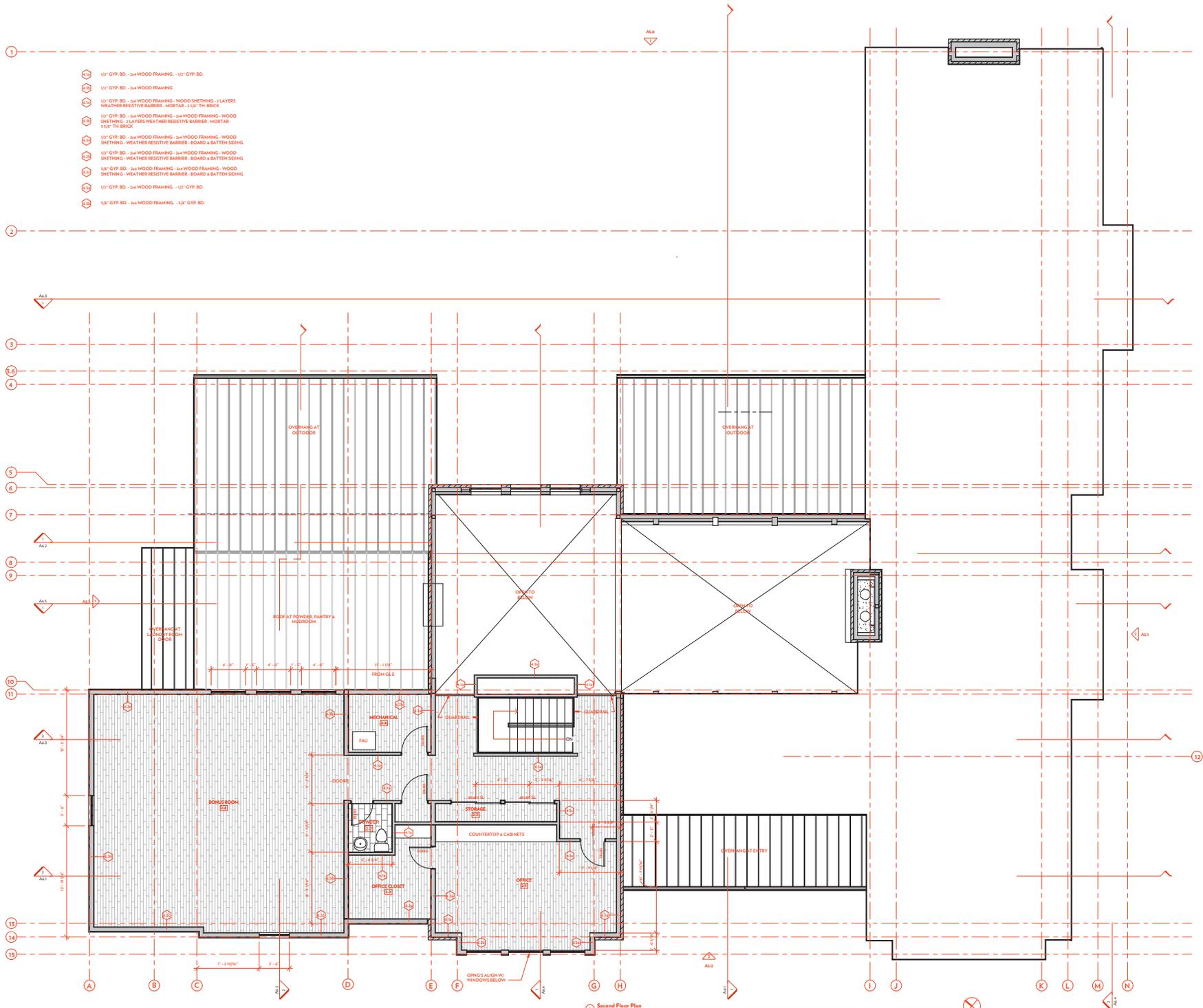


A2.0
First Floor Plan

O'Neal Residence
11099 Thomas Creek Road
Reno, Nevada 89511
APN: 044-391-27



Admin. Review



- 1 1/2" GYP. BD. - 3/4" WOOD FRAMING - 1/2" GYP. BD.
- 2 1/2" GYP. BD. - 3/4" WOOD FRAMING
- 3 1/2" GYP. BD. - 3/4" WOOD FRAMING - WOOD SHEATHING - 2 LAYERS WEATHER RESISTIVE BARRIER - 1/2" x 4" x 1/2" TH BRICK
- 4 1/2" GYP. BD. - 3/4" WOOD FRAMING - 3/4" WOOD FRAMING - WOOD SHEATHING - 2 LAYERS WEATHER RESISTIVE BARRIER - 1/2" x 4" x 1/2" TH BRICK
- 5 1/2" GYP. BD. - 3/4" WOOD FRAMING - 3/4" WOOD FRAMING - WOOD SHEATHING - WEATHER RESISTIVE BARRIER - BOARD & BATTEN SIDING
- 6 1/2" GYP. BD. - 3/4" WOOD FRAMING - 3/4" WOOD FRAMING - WOOD SHEATHING - WEATHER RESISTIVE BARRIER - BOARD & BATTEN SIDING
- 7 1/2" GYP. BD. - 3/4" WOOD FRAMING - 3/4" WOOD FRAMING - WOOD SHEATHING - WEATHER RESISTIVE BARRIER - BOARD & BATTEN SIDING
- 8 1/2" GYP. BD. - 3/4" WOOD FRAMING - 3/4" WOOD FRAMING - WOOD SHEATHING - WEATHER RESISTIVE BARRIER - BOARD & BATTEN SIDING
- 9 1/2" GYP. BD. - 3/4" WOOD FRAMING - 1/2" GYP. BD.
- 10 1/2" GYP. BD. - 3/4" WOOD FRAMING - 1/2" GYP. BD.



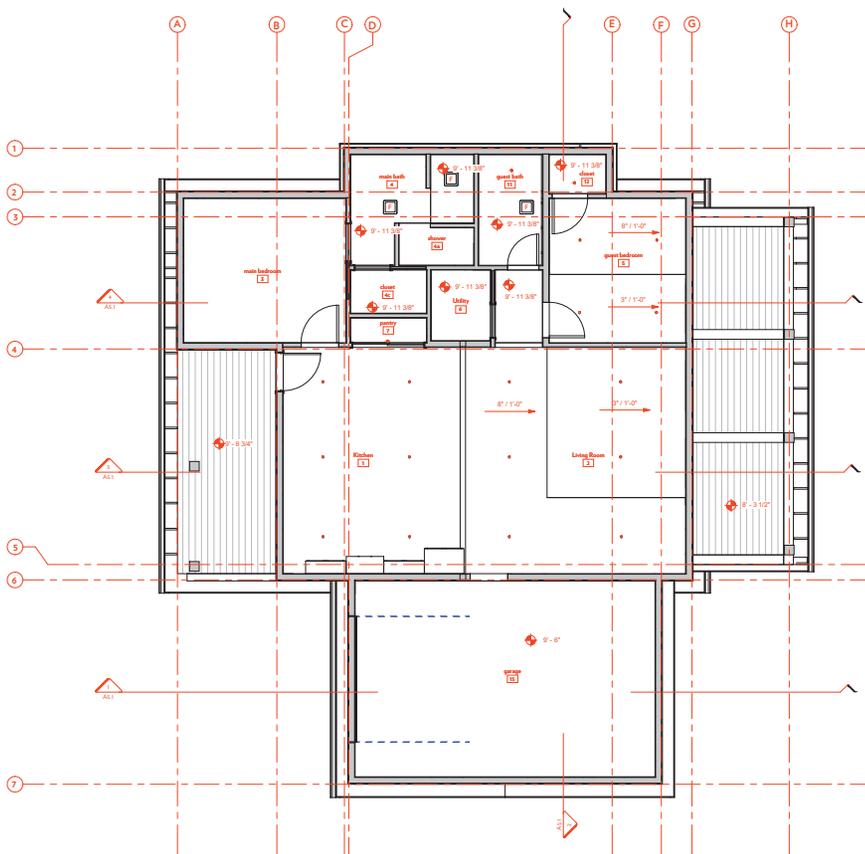
A2.3
Second Floor Plan
O'Neal Residence

11000 Thomas Creek Road
Reno, Nevada 89511
APN: 044-391-27
www.copenhaver.com
100 S. Virginia Street, Suite 100
Reno, NV 89502
775.329.8999

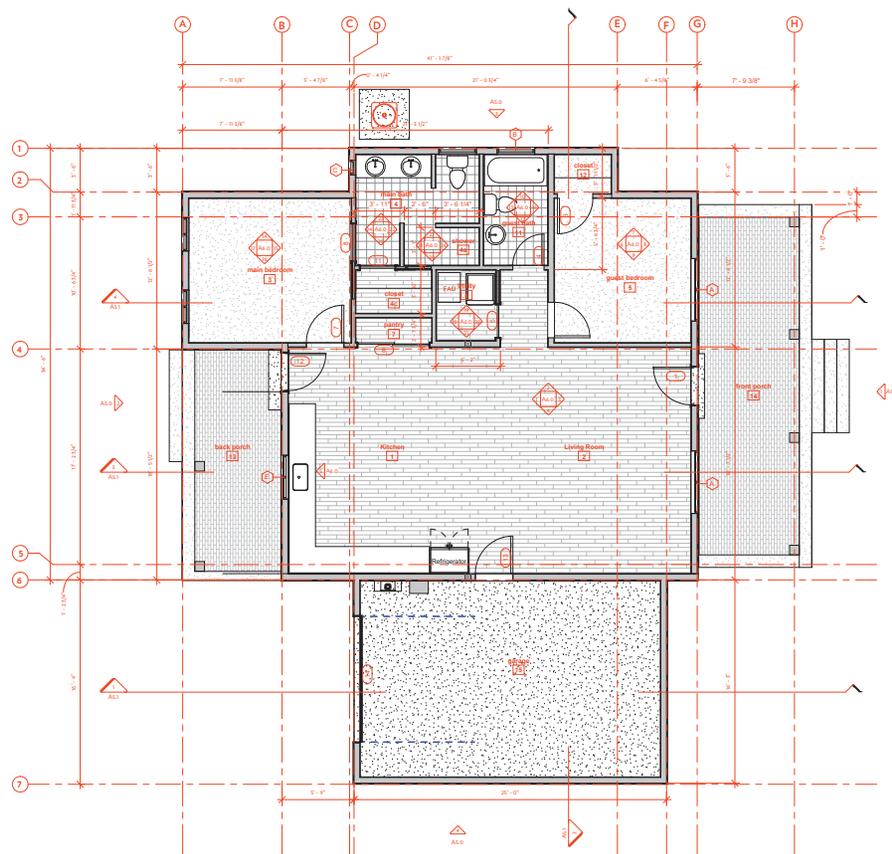
Admin. Review
12.24
TC TC

revision schedule
000 000 000

Second Floor Plan
1/4" = 1'-0"



2 Reflected Ceiling Plan
1/4" = 1'-0"



1 Floor Plan
1/4" = 1'-0"



A2.0
Floor Plan & RCP

O'Neal Guest House

11090 Thomas Creek Road
Reno, Nevada 89511
APN: 044-391-27



Admin. Review

1/2/21



ELEVATION NOTES

- E4 BOARD & BATTEN SIDING
- E6 BRICK
- E7 STEEL FRAMED DOORS & WINDOWS
- E8 RECLAIMED WOOD COLUMNS, TYP.
- E4 FLOOD VENT - 1/2\"/>

FLOOD VENT CALCULATIONS

44% OF ENCLOSED FOUNDATION FOOTPRINT
 VENT TYPE - FREEDOM FLOOD MODEL FFV 1608
 ENGINEERED OPENING ALLOWING FOR SUBP
 OF COVERED AREA USING 1.6 FEET HOUR RISE & FALL
 VENT TO BE INSTALLED BELOW BASE FLOOD ELEVATION
 290/250 = 25 VENTS REQUIRED.

1 Southwest Elevation
 1/4" = 1'-0"



1 Northeast Elevation
 1/4" = 1'-0"



A5.0
 Exterior Elevations

O'Neal Residence

11090 Thomas Creek Road
 Reno, Nevada 89511
 APN: 044-391-27



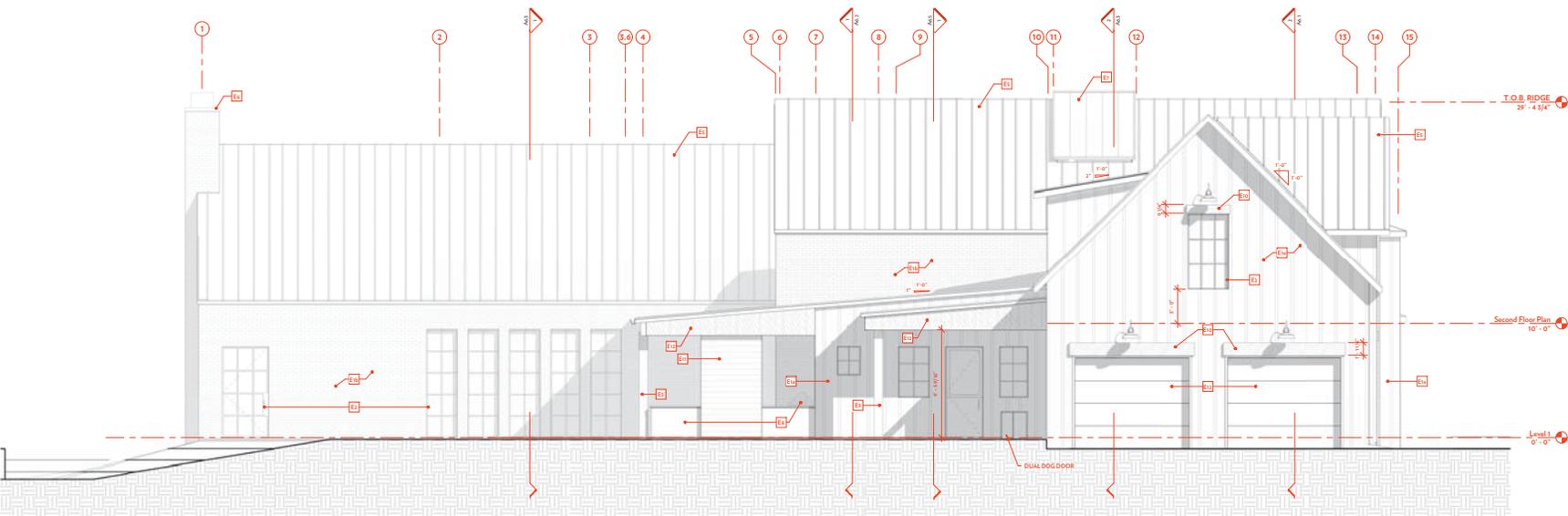
Admin. Review



2 Southeast Elevation
1/4" = 1'-0"

ELEVATION NOTES

- E1 BOARD & BATTEN SIDING
- E2 BRICK
- E3 STEEL FRAMED DOORS & WINDOWS
- E4 RECLAIMED WOOD COLUING, TYP.
- E5 FLOOD VENT -HSG. IN OPEN AREA
- E6 STAINLESS STEEL METAL ROOF
- E7 PRECAST CONCRETE CHIMNEY CROWN & FLUE CAP
- E8 SKYLIGHT
- E9 B.L.I. (HSG) W/ EXT. CAS. & HOOD
- E10 RECLAIMED WOOD SILLS & LINTELS TYP.
- E11 HORIZ. RECLAIMED PLANK SIDING
- E12 RECLAIMED WOOD FACED, SOLID SECTIONAL GARAGE DOOR
- E13 VERT. RECLAIMED PLANK SIDING



1 Northwest Elevation
1/4" = 1'-0"



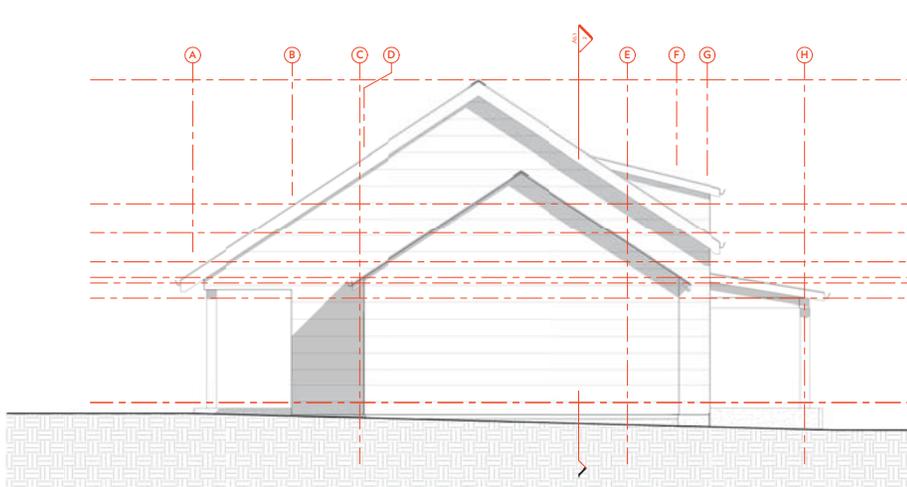
A5.1
Exterior Elevations

O'Neal Residence

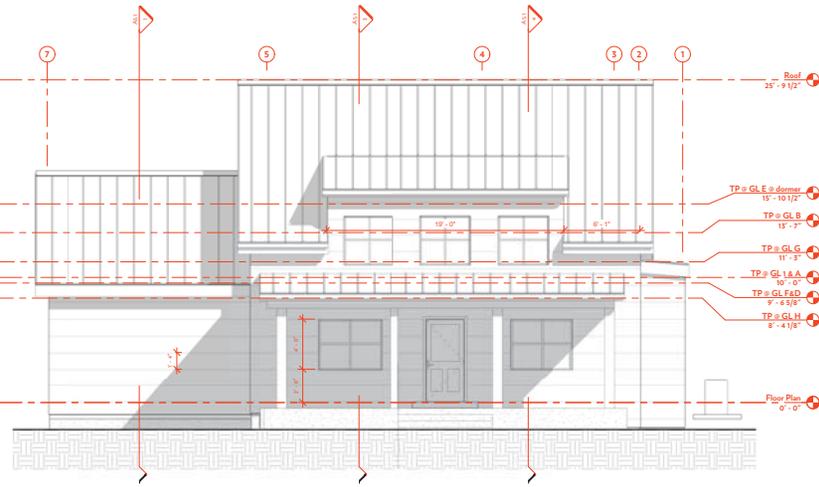
11090 Thomas Creek Road
Reno, Nevada 89511
APN: 044-391-27



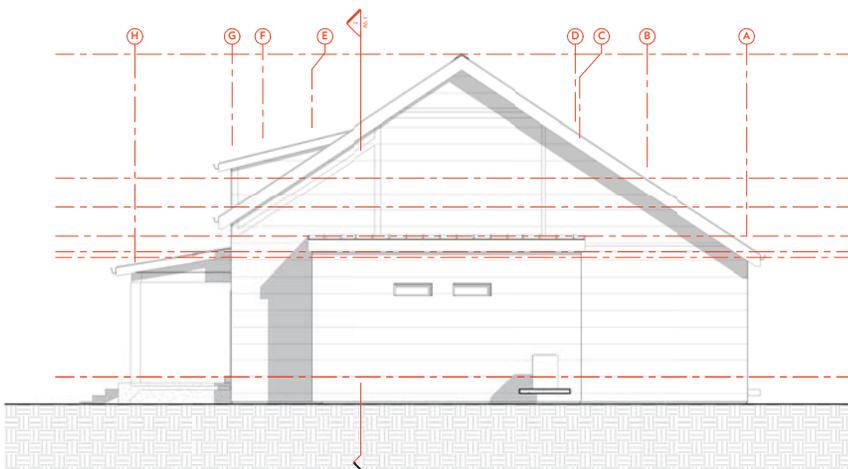
Admin. Review



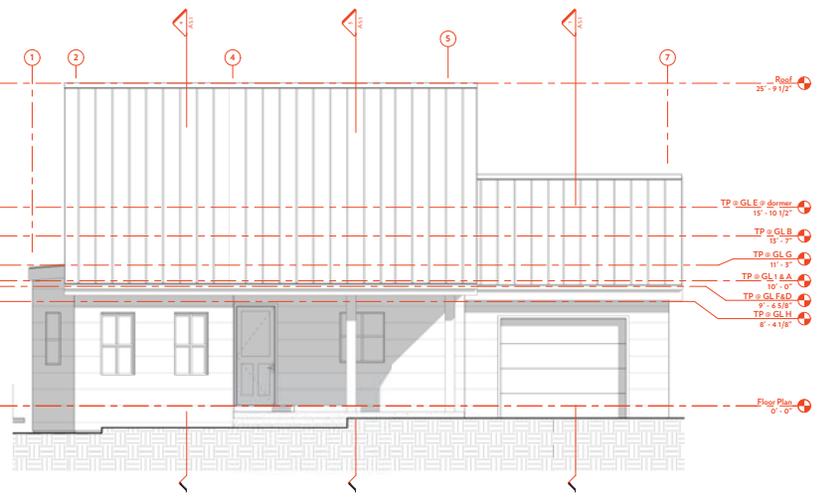
South Elevation
1/4" = 1'-0"



East Elevation
1/4" = 1'-0"



North Elevation
1/4" = 1'-0"



West Elevation
1/4" = 1'-0"

Additional Information

Bill Detail

Parcel/Identifier: 04439127

Owner: O'NEAL FAMILY TRUST, C & S

Last Update: 1/7/2022 12:59:08 PM

Tax Distribution by Fund

i For information regarding the charges listed here, please contact the respective taxing agency directly, or call (775) 328-2510.

▲ : State of Nevada

Tax Authority Fund	Gross Tax Amount	Credit Amount	Net Tax Amount
State Of Nevada	\$647.31	-\$16.56	\$630.75
	Gross Tax	Credit Amount	Net Tax
	\$647.31	-\$16.56	\$630.75

▲ : Truckee Meadows Fire Dist

Tax Authority Fund	Gross Tax Amount	Credit Amount	Net Tax Amount
Truckee Meadows	\$2,056.17	-\$52.60	\$2,003.57
	Gross Tax	Credit Amount	Net Tax
	\$2,056.17	-\$52.60	\$2,003.57

▲ : Washoe County

Tax Authority Fund	Gross Tax Amount	Credit Amount	Net Tax Amount
Ab104 Fair Share	\$103.57	-\$2.65	\$100.92
Agriculture Exte	\$38.08	-\$0.97	\$37.11
Animal Shelter O	\$114.23	-\$2.92	\$111.31
Capital Faciliti	\$190.39	-\$4.87	\$185.52
Child Protective	\$152.31	-\$3.90	\$148.41
County General	\$3,841.23	-\$98.28	\$3,742.95
District Courts	\$73.11	-\$1.87	\$71.24
Indigent Care	\$228.46	-\$5.84	\$222.62
Indigent Insuran	\$57.12	-\$1.46	\$55.66
Library Override	\$76.15	-\$1.95	\$74.20
Senior Citizens	\$38.08	-\$0.97	\$37.11
County Jail Over	\$294.72	-\$7.54	\$287.18
Youth Facilities	\$27.03	-\$0.69	\$26.34
County Debt	\$64.73	-\$1.66	\$63.07
Sc crt	\$0.00	\$0.00	\$0.00
	Gross Tax	Credit Amount	Net Tax
	\$5,299.21	-\$135.57	\$5,163.64

▲ : Washoe County Sc

Tax Authority Fund	Gross Tax Amount	Credit Amount	Net Tax Amount
School Debt	\$1,479.30	-\$37.85	\$1,441.45
School General	\$2,855.79	-\$73.06	\$2,782.73
	Gross Tax	Credit Amount	Net Tax
	\$4,335.09	-\$110.91	\$4,224.18

▲ : TRUCKEE MDWS/SUN VALLEY WATER BASIN

Tax Authority Fund	Gross Tax Amount	Credit Amount	Net Tax Amount
Truckee Mdws/Sun Valley Water Basin	\$2.00	\$0.00	\$2.00
	Gross Tax	Credit Amount	Net Tax
	\$2.00	\$0.00	\$2.00

	Gross Tax	Credit Amount	Net Tax
	\$12,339.78	-\$315.64	\$12,024.14

 Payment History

Tax Year	Bill Number	Receipt Number	Amount Paid	Last Paid
2021	2021374957	B21.28436	\$12,024.14	7/29/21

i Attention: Important Information, please be advised:

- **ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- If payment confirmation is not received, please check the "SPAM" folder in your e-mail account. Add "Payments@Bill2Pay.com" to your safe-senders list in order to ensure that the payment confirmation is routed to your inbox.

Full-Size Plans

SITE PLAN LEGEND

- DRIVEWAY/PAVED AREA
- DECK AREA
- INFILTRATION TRENCH/DRIVEWAY
- RAINSTORM DRIVEWAY INFILTRATION AREA
- PROPERTY LINE
- PROPERTY CORNER
- UTILITY
- PROPOSED UTILITY LINE W. DESCRIPTION
- EXISTING UTILITY LINE W. DESCRIPTION
- FIRE HYDRANT ASSEMBLY
- WATER SERVICE
- MANHOLE W. DESCRIPTION
- CLEANOUT
- SANITARY SEWER LATERAL
- YARD DRAIN
- DIRECTIONAL FLOW LINE
- GRADE BREAK
- PROPOSED CONTOUR LINE
- EXISTING CONTOUR LINE
- FLOW DIRECTION ARROW
- SPOT ELEVATION (EXISTING) ~ PROPOSED
- TREE/TREE TO BE REMOVED

IRC DRAINAGE NOTE

SURFACE DRAINAGE SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONDUIT OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL NOT FALL FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET. WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10', DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPROVED SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING.

ENCROACHMENT NOTE

AN ENCROACHMENT & EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN THE WASHOE COUNTY RIGHT-OF-WAY.

ENCROACHMENT NOTE

AN ENCROACHMENT & EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN THE WASHOE COUNTY RIGHT-OF-WAY.

- ### SITE NOTES
- MONTE VISTA CONSULTING, LTD. (MVC) IS THE DESIGN ENGINEER FOR THIS PROJECT. ALL CONTRACTORS ARE DIRECTED TO CONTACT MVC FOR ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF ANY NOTE OR OTHER INFORMATION CONTAINED ON THESE IMPROVEMENT PLANS.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING, DIMENSIONS, GRADES, UTILITIES & POINTS OF CONNECTION. THE CONTRACTOR SHALL NOTIFY MVC OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE AND MAKE THEIR OWN INTERPRETATIONS WITH REGARD TO MATERIALS, MEANS, METHODS AND EQUIPMENT NECESSARY TO PERFORM THE WORK REQUIRED FOR THIS PROJECT PRIOR TO PERFORMING ANY WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR RETAINING THE SERVICES OF A TESTING COMPANY TO PROVIDE ALL REQUIRED TESTING AND INSPECTION OF GRADING AND CONSTRUCTION NOT INSPECTED DIRECTLY BY WASHOE COUNTY OR ANY UTILITY COMPANY. THE CONTRACTOR SHALL PROVIDE ANY INSPECTING ENTITY TWO (2) WORKING DAYS ADVANCE NOTICE OF ANY REQUIRED TESTING AND INSPECTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND COORDINATING ALL SERVICE REQUIREMENTS WITH THE APPROPRIATE PUBLIC AGENCY OR UTILITY PROVIDER. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
 - THE FIELD SURVEY PREPARED BY MEYER SURVEYING IS THE BASIS OF THIS DESIGN. IMPROVEMENTS AND/OR UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THE PLANS. THE LOCATIONS OF EXISTING IMPROVEMENTS AND UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN. THE INFORMATION IS NOT TO BE RELED UPON AS EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY ACTUAL LOCATIONS OF EXISTING IMPROVEMENTS AND UTILITIES PRIOR TO CONSTRUCTION. SHOULD THE CONTRACTOR DISCOVER ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE INFORMATION SHOWN ON THESE DRAWINGS, THEY SHALL NOTIFY MVC BEFORE PROCEEDING WITH CONSTRUCTION.
 - AN ENCROACHMENT & EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN THE WASHOE COUNTY RIGHT-OF-WAY AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CODES, STANDARD SPECIFICATIONS & DETAILS.
 - THERE IS NO PUBLIC SEWER WITHIN 400' OF THIS PROPERTY. THE EXISTING SEPTIC IMPROVEMENTS SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. IT IS RECOMMENDED THAT ALL EXISTING IMPROVEMENTS BE FIELD LOCATED PRIOR TO CONSTRUCTION.
 - THERE IS NO PUBLIC WATER AVAILABLE.
 - THERE IS NO PUBLIC WELL WITHIN 200' OF THIS PROPERTY.
 - MAINTAIN 3.0' MINIMUM COVER OVER ALL WATER MAINS AND SERVICES.
 - MAINTAIN 3.0' MINIMUM HORIZONTAL CLEARANCE AROUND ALL FIRE HYDRANTS.
 - REF. NV ENERGY PLANS, SITE ELECTRICAL PLAN & SITE PLUMBING PLAN FOR ALL GAS AND ELECTRIC IMPROVEMENTS.
 - AND EQUIPMENT NECESSARY TO PERFORM THE WORK REQUIRED FOR THIS PROJECT PRIOR TO PERFORMING ANY WORK.
 - REFERENCE ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND FOR ALL DETAILS REGARDING TRANSITIONS AT EXTERIOR DOORS. SHOULD ANY DISCREPANCIES BETWEEN THIS PLAN AND THE ARCHITECTURAL PLANS OCCUR, THE CONTRACTOR SHALL NOTIFY MVC PRIOR TO PROCEEDING WITH CONSTRUCTION. REFERENCE DESIGN BY OTHERS.
 - BACKFILL ESTABLISHING SEPARATION AS REQUIRED BY ARCHITECTURAL AND STRUCTURAL DESIGN BETWEEN FINISH GRADE AND SIDING (8" MIN SEPARATION TYPICAL). REFERENCE DESIGN BY OTHERS.
 - PROVIDE 5% MINIMUM (1% ON CONCRETE SURFACES) TO 20% MAXIMUM SLOPE AWAY FROM PROPOSED STRUCTURE TOWARDS THE DRAINAGE SWALE OR APPROVED DRAINAGE OUTFALL 10' MIN. FROM STRUCTURE. (UNLESS OTHERWISE NOTED)
 - DRAINAGE SWALE SHALL MAINTAIN A MINIMUM SLOPE OF 1% TOWARDS AN APPROVED DRAINAGE OUTFALL.
 - SLOPE LAWN AREAS 2.0% MIN. TOWARD THE DRAINAGE SWALE OR OTHER APPROVED DRAINAGE OUTFALL.
 - THE CONTRACTOR SHALL TRANSITION ALL POINT FLOWS TO SHEET FLOWS WITH MECHANICALLY STABILIZED WATER SPREADING AT THE TERMINATION OF ANY SWALE. NO STABILIZATION IS REQUIRED ON PAVED SURFACES.
 - MVC IS NOT RESPONSIBLE FOR ANY STRUCTURAL DESIGN OF SITE RETAINING WALLS OR FEATURES. REFERENCE STRUCTURAL DESIGN BY OTHERS.
 - ALL HARDCAPE AND LANDSCAPING SURROUNDING THE STRUCTURE SHALL BE FINISHED PER OWNERS REQUIREMENTS.
 - IT IS RECOMMENDED THAT THE CONTRACTOR OBTAIN & REVIEW A SITE SPECIFIC GEOTECHNICAL INVESTIGATION/REPORT AND ADDENDUMS. IN THE EVENT OF DISCREPANCY BETWEEN THE REPORT AND THE NOTES HEREIN, THE REPORT SHALL PREVAIL.
 - THE CONTRACTOR WILL PREPARE AN INDEPENDENT ESTIMATE OF EARTHWORK QUANTITIES. ANY QUANTITIES PROVIDED IN THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR MATERIAL EXPANSION OR SHRINKAGE.
 - ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST GOVERNMENTAL REGULATIONS OR IN APPROVED AREAS AS SHOWN ON THE GRADING PLAN. UNSUITABLE SOIL OR MATERIALS, NOT TO BE INCLUDED IN THE WORK INCLUDE: ORGANIC MATERIALS SUCH AS PEAT, MULCH, ORGANIC SILT OR SOIL, SOILS CONTAINING EXPANSIVE CLAYS, MATERIAL CONTAINING EXCESSIVE MOISTURE, POORLY GRADED COARSE MATERIAL, PARTICLE SIZE IN EXCESS OF 8 INCHES, MATERIAL WHICH WILL NOT ACHIEVE DENSITY AND/OR BEARING REQUIREMENTS.
 - THIS SITE LIES IN FEMA FLOOD ZONE A (32031C3245G). ZONE A IS DEFINED AS AREAS WITHIN THE 1-PERCENT ANNUAL CHANCE FLOOD IS ALSO REFERRED TO AS THE BASE FLOOD OR 100-YEAR FLOOD.
 - UNLESS SPECIFIED OTHERWISE, ALL DRAINAGE IMPROVEMENTS ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
 - ALL EROSION CONTROL MEASURES SHALL BE PLACED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - ANY EROSION CONTROL MEASURES SHOWN ARE A MINIMUM AND THE CONTRACTOR MAY MODIFY, RELOCATE AND IMPROVE AS REQUIRED THROUGHOUT THE CONSTRUCTION PROCESS.
 - PROVIDE INLET PROTECTION AT ALL EXISTING CATCH BASINS SURROUNDING THE SITE.
 - SHOULD SHOULD ANY CAIRN OR GRAVE OF A NATIVE AMERICAN BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE SHERIFF'S OFFICE AS WELL AS THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES SHALL BE IMMEDIATELY NOTIFIED PER NRS 363.170.
 - ADD 4600' TO ALL ELEVATIONS.

DEFENSIBLE SPACE & VEGETATION MANAGEMENT NOTES

- REQUIRED DEFENSIBLE SPACES SHALL BE 30' FOR MODERATE HAZARD RATINGS OR AS MODIFIED BY THE FIRE MARSHALL.
- DEFENSIBLE SPACE SHALL BE MAINTAINED TO THE REQUIRED DISTANCE OR TO THE PROPERTY LINE, WHICHEVER IS LESS MEASURED ON A HORIZONTAL PLANE FROM THE PERIMETER OR PROJECTION OF THE BUILDING OR STRUCTURE.
- CULTIVATED GROUND COVER SUCH AS GRASS, NY, SUCCULENTS OR SIMILAR PLANTS USED AS GROUND COVER ARE ALLOWED WITHIN THE DEFENSIBLE SPACE PROVIDED THEY DO NOT FORM A MEANS OF TRANSMITTING FIRE FROM THE NATIVE GROWTH TO ANY STRUCTURE.
- THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DEFENSIBLE SPACE WHICH SHALL INCLUDE MODIFYING OR REMOVING NON FIRE-RESISTIVE VEGETATION AND KEEPING LEAVES, NEEDLES AND OTHER DEAD VEGETATIVE MATERIAL REGULARLY REMOVED FROM ROOFS OF BUILDINGS & STRUCTURES.
- TREE CROWNS SHALL BE PRUNED IN ORDER TO MAINTAIN 10' CLEARANCE FROM ANY STRUCTURE AND TO MAINTAIN A 6' VERTICAL CLEARANCE BETWEEN THE GROUND AND LIMBS WITHIN THE DEFENSIBLE SPACE. DEADWOOD & LITTER SHALL BE REGULARLY REMOVED FROM TREES.
- SPARK ARRESTORS SHALL BE INSTALLED ON CHIMNEYS SERVING FIREPLACES, BARBECUES, INCINERATORS OR DECORATIVE HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUEL IS USED.
- FIREWOOD AND OTHER COMBUSTIBLE MATERIALS SHALL BE STORED IN UNENCLOSED SPACES BENEATH BUILDINGS OR STRUCTURES, ON DECKS OR UNDER EAVES, CANOPIES OR OTHER PROJECTIONS/OVERHANGS. FIREWOOD OR OTHER COMBUSTIBLE MATERIALS SHALL BE STORED A MINIMUM OF 20' FROM STRUCTURES AND SEPARATED FROM THE CROWN OF TREES BY A MINIMUM HORIZONTAL DISTANCE OF 15'.
- TREE SPACING GUIDELINES: SLOPES 0%-20%: 10'; SLOPES 20%-40%: 20'; SLOPES GREATER THAN 40%: 30'
- SHRUB SPACING GUIDELINES: SLOPES 0%-20%: 2 TIMES THE HEIGHT OF THE SHRUB; SLOPES 20%-40%: 4 TIMES THE HEIGHT OF THE SHRUB; SLOPES GREATER THAN 40%: 6 TIMES THE HEIGHT OF THE SHRUB
- VERTICAL SPACE BETWEEN THE TOP OF A SHRUB AND THE BOTTOM OF LOWER TREE BRANCHES IS RECOMMENDED TO BE 3 TIMES THE HEIGHT OF THE SHRUB.

EARTHWORK ANALYSIS

SITE AREA	18.13 AC
SITE DISTURBANCE	4.0 AC
PROPOSED CUT	7,600 YD ³
PROPOSED FILL	7,600 YD ³
NET EARTHWORK	BALANCED

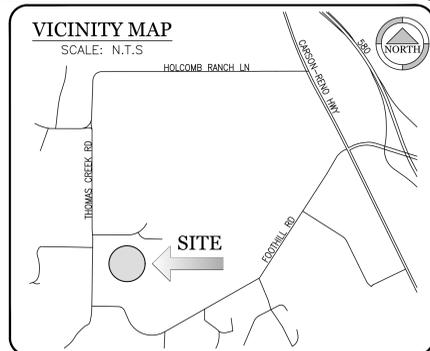
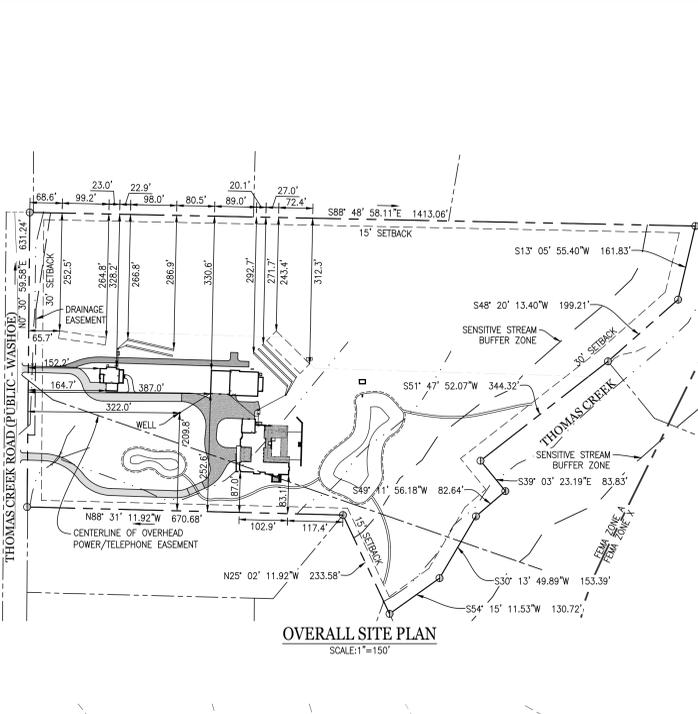
THESE QUANTITIES ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR ANY OVER EXCAVATION, SHRINKAGE OR EXPANSION OF MATERIALS. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL INVESTIGATION AND PERFORM AN INDEPENDENT EARTHWORK ANALYSIS FOR CONSTRUCTION PURPOSES.

SITE INFORMATION

ADDRESS	1090 THOMAS CREEK RD
APN	044-391-27
LOT SIZE	789,816 S.F.
ZONING	HDR 82%/GR 18%
WUI FIRE RISK RATING	MODERATE
SETBACKS (F/R/S)	30/30/15 (FT)

FLOOD PLAIN NOTE

THIS SITE IS LOCATED IN FEMA FLOOD ZONE A. REQUIREMENTS FOR DEVELOPMENT IN THIS FLOOD ZONE ARE AS FOLLOWS: THE FINISH FLOOR OF ALL BUILDINGS (INCLUDING BASEMENT) TO BE SET AT LEAST 2' ABOVE THE HIGHEST ADJACENT UNDISTURBED GROUND ELEVATION IF NO BASE FLOOD ELEVATION HAS BEEN DETERMINED OR 1' ABOVE THE BASE FLOOD ELEVATION IF ONE HAS BEEN DETERMINED.



OWNER INFORMATION

O'NEAL FAMILY TRUST, C & S
1020 N CANTLON LN
RENO, NV 89521

MONTE VISTA CONSULTING
575 E. Plum Lane #101
Reno, NV 89502
775.636.7905
montevistaconsulting.com

O'Neal Residence

Site Plan

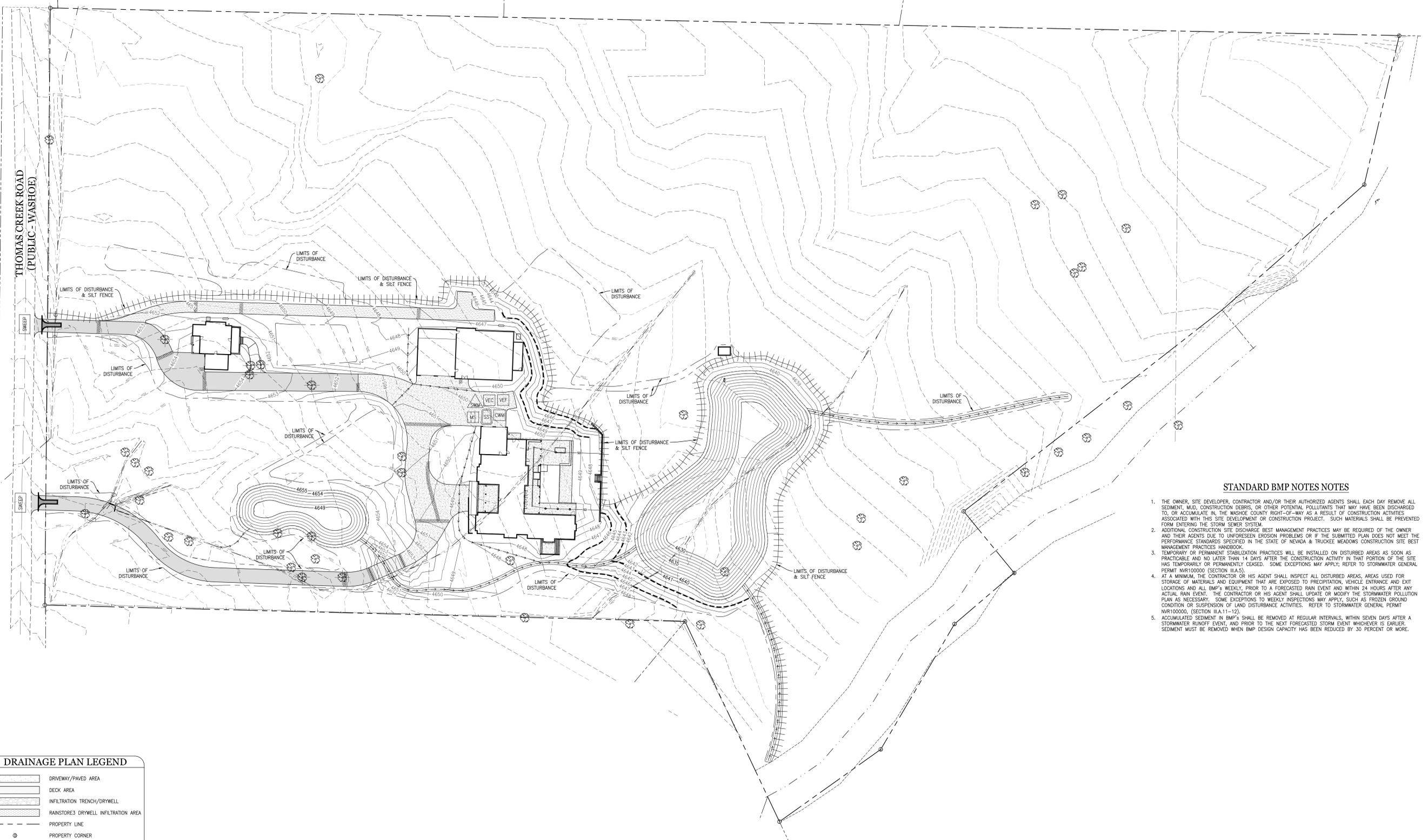
11090 Thomas Creek Road
APN: 044-391-27
Washoe County, Nevada

Project # 21.024
Drawn HBA
Checked MWW
Date 12.10.2021
Revisions

C1.0

1 of 2





STANDARD BMP NOTES

1. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE WASHOE COUNTY RIGHT-OF-WAY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND THEIR AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE STATE OF NEVADA & TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
3. TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY. REFER TO STORMWATER GENERAL PERMIT NVR100000 (SECTION III.A.5).
4. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMP'S WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITION OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT NVR100000, (SECTION III.A.11-12).
5. ACCUMULATED SEDIMENT IN BMP'S SHALL BE REMOVED AT REGULAR INTERVALS, WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT, AND PRIOR TO THE NEXT FORECASTED STORM EVENT WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 30 PERCENT OR MORE.

DRAINAGE PLAN LEGEND

	DRIVEWAY/PAVED AREA
	DECK AREA
	INFILTRATION TRENCH/DRYWELL
	RAINSTORE'S DRYWELL INFILTRATION AREA
	PROPERTY LINE
	PROPERTY CORNER
	YARD DRAIN
	DIRECTIONAL FLOW LINE
	FLOW DIRECTION ARROW
	FIBER ROLL (SC-1)
	SILT FENCE (SC-5)
	CONSTRUCTION ENTRANCE (SC-8)
	REVEGETATION (EC-8)
	RIPRAP (EC-7)
	SOLID WASTE MANAGEMENT (GM-3)
	STREET SURFACE CLEANING (GM-5)
	VEHICLE & EQUIPMENT CLEANING (GM-7)
	VEHICLE & EQUIPMENT FUELING (GM-8)
	CONCRETE WASHOUT (GM-9)
	MATERIAL DELIVERY & STORAGE (GM-10)
	SANITARY WASTE MANAGEMENT (GM-14)
	TREE/TREE TO BE REMOVED

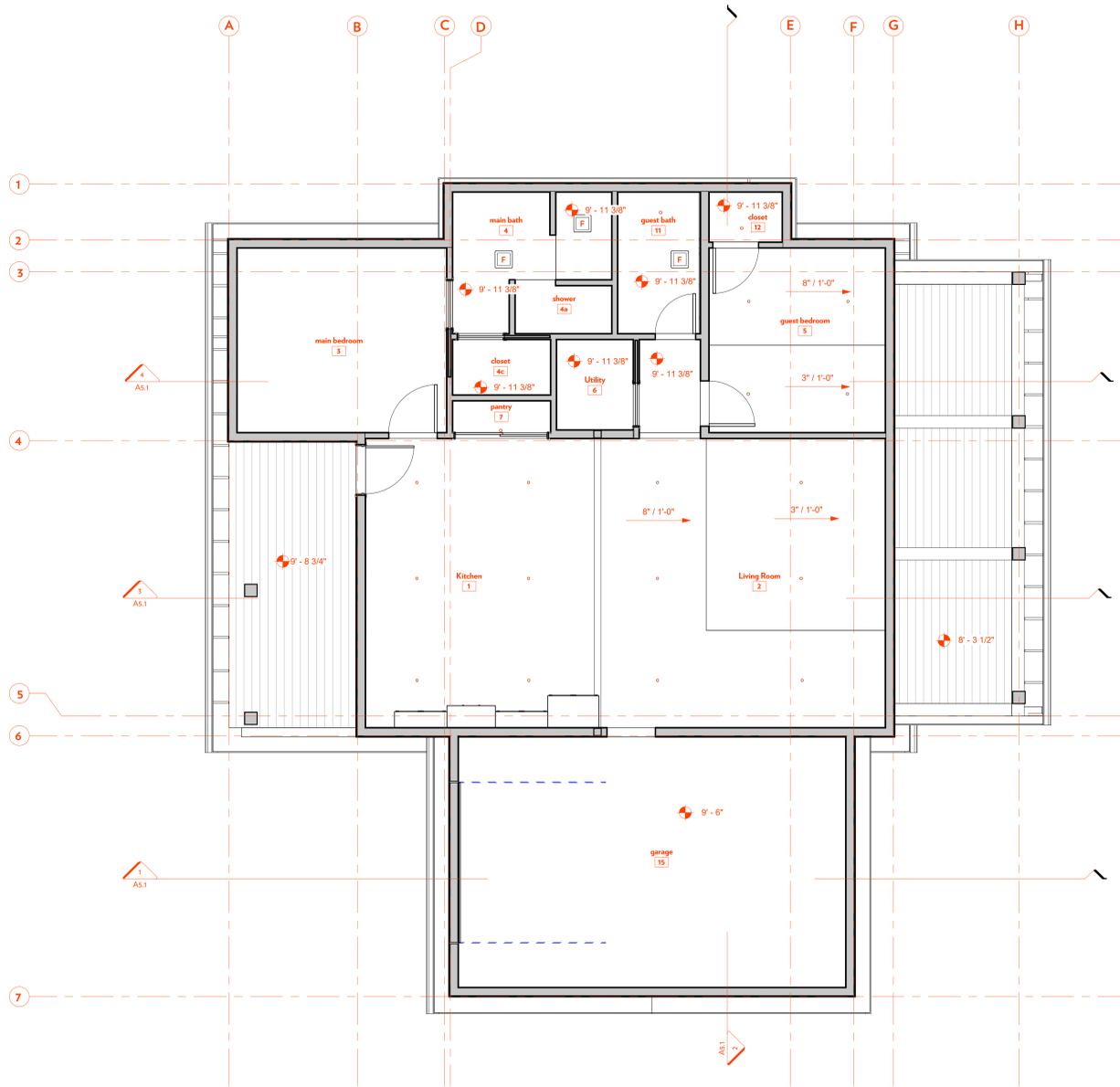


O'Neal Residence
 BMP & Erosion Control Plan

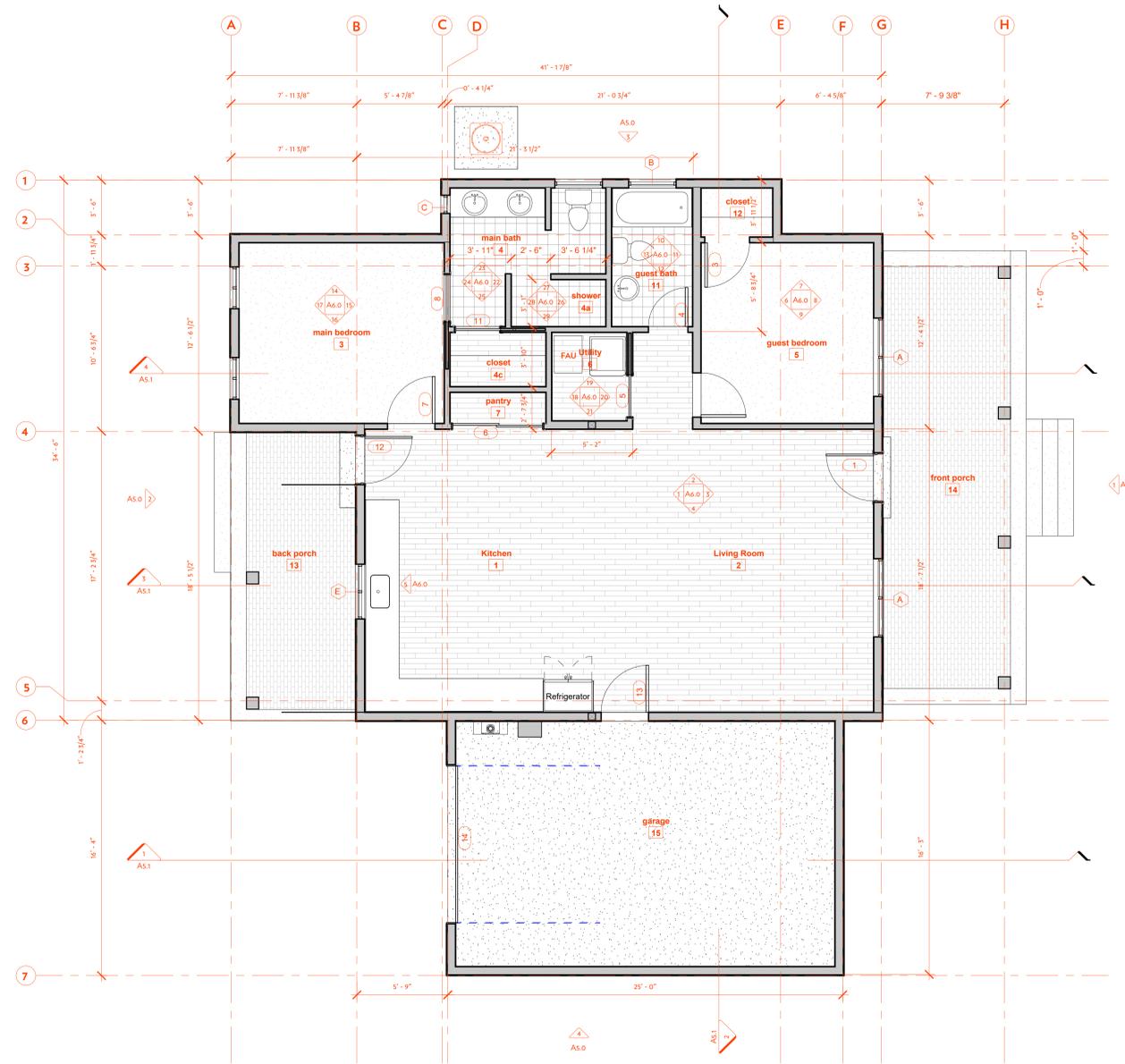
11090 Thomas Creek Road
 APN: 044-391-27
 Washoe County, Nevada

Project # 21.024
 Drawn HBA
 Checked MWV
 Date 12.10.2021
 Revisions





2 Reflected Ceiling Plan
1/4" = 1'-0"



1 Floor Plan
1/4" = 1'-0"



A2.0
Floor Plan & RCP

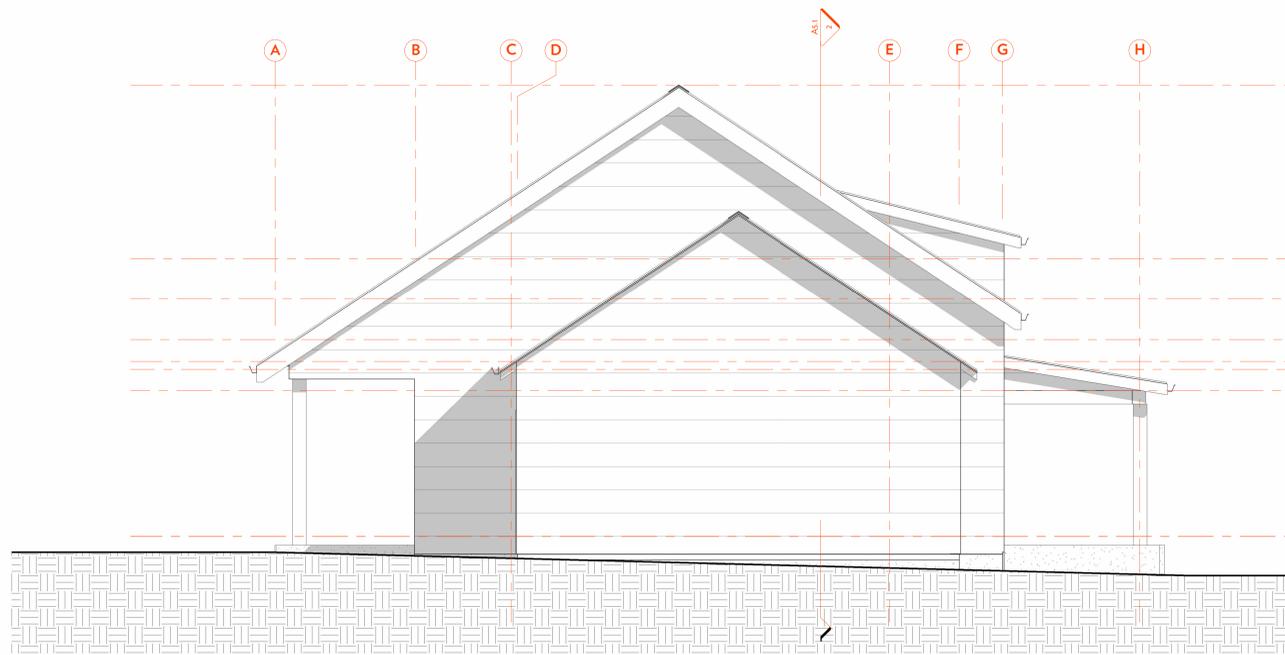
O'Neal Guest House

11090 Thomas Creek Road
Reno, Nevada 89511
APN: 044-391-27

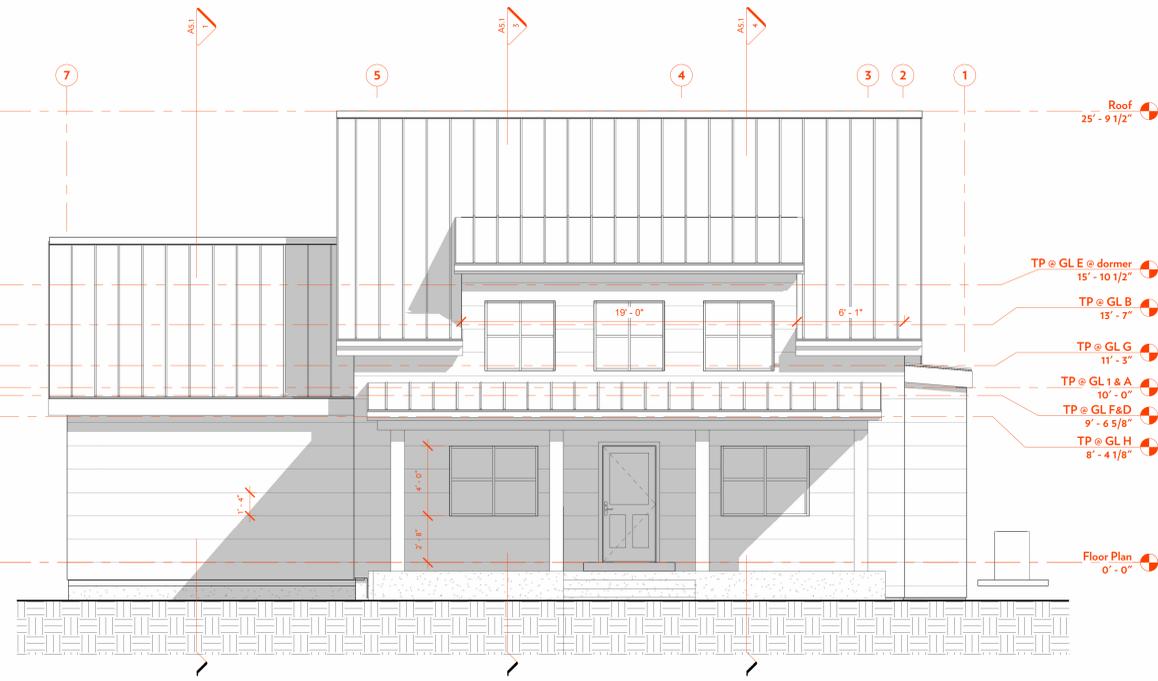
todd copenhaver architect, pc
136 ridge street
reno, nv 89501
tel. 775.343.9919



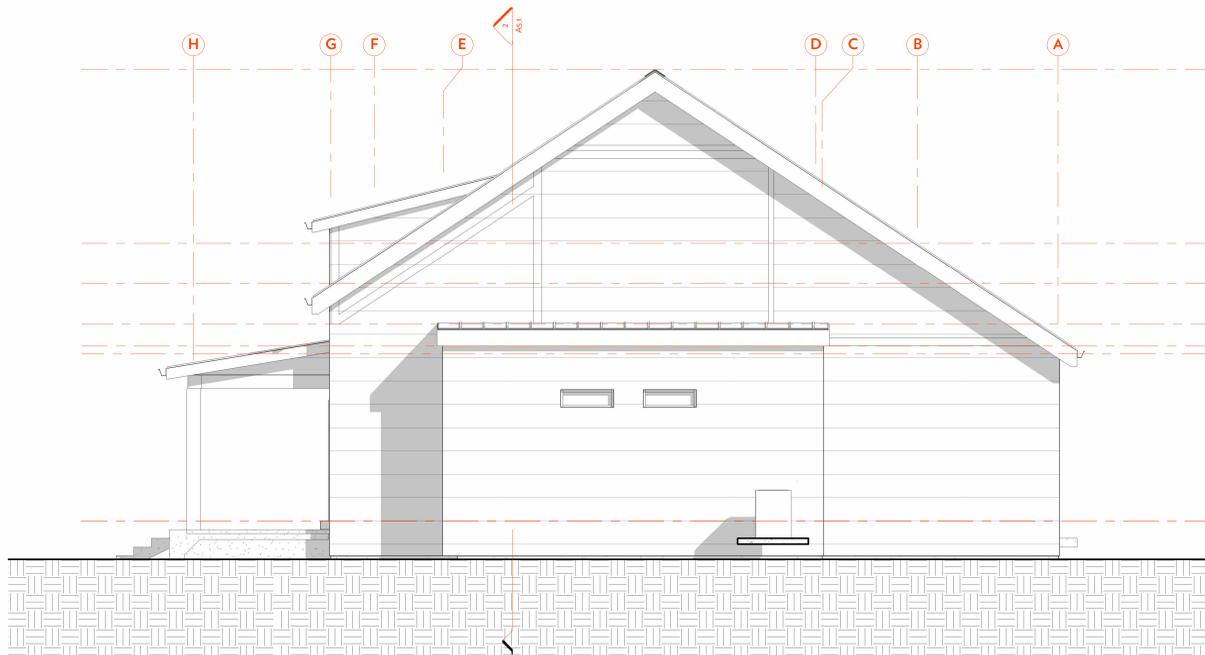
Admin. Review



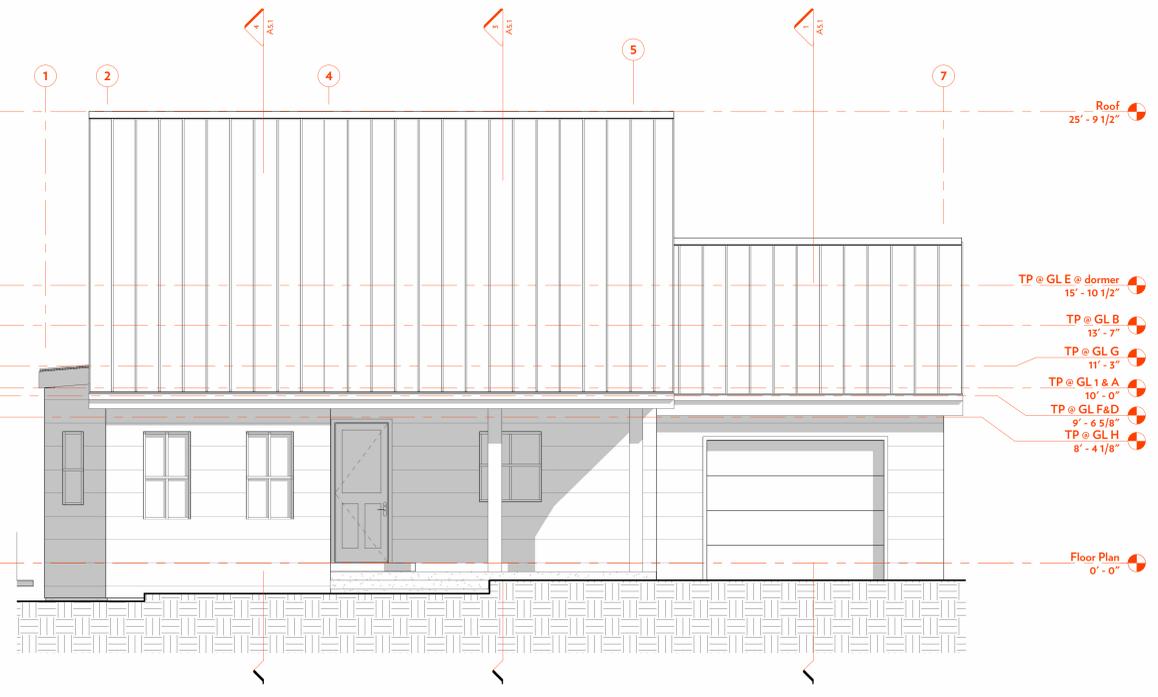
4 South Elevation
1/4" = 1'-0"



1 East Elevation
1/4" = 1'-0"



3 North Elevation
1/4" = 1'-0"



2 West Elevation
1/4" = 1'-0"



A2.0
First Floor Plan

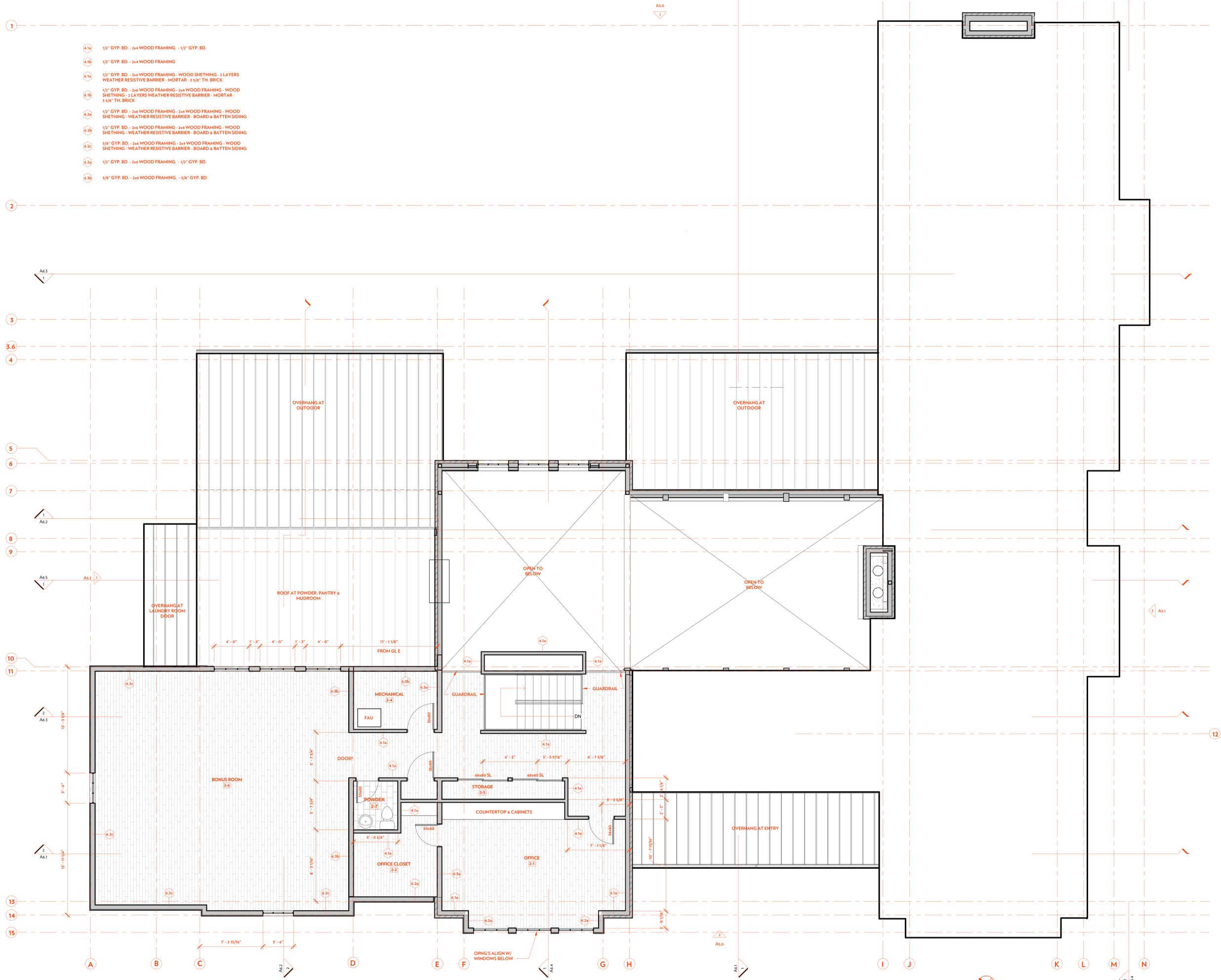
O'Neal Residence

11090 Thomas Creek Road
Reno, Nevada 89511
APN: 044-391-27



Admin. Review

1 First Floor Plan
1/4" = 1'-0"



- 4.1a 1/2" GYP. BD. - 2x4 WOOD FRAMING. - 1/2" GYP. BD.
- 4.1b 1/2" GYP. BD. - 2x4 WOOD FRAMING
- 6.1a 1/2" GYP. BD. - 2x4 WOOD FRAMING - WOOD SHEATHING - 2 LAYERS WEATHER RESISTIVE BARRIER - MORTAR - 3 5/8" TH. BRICK
- 6.1b 1/2" GYP. BD. - 2x4 WOOD FRAMING - 2x4 WOOD FRAMING - WOOD SHEATHING - 3 LAYERS WEATHER RESISTIVE BARRIER - MORTAR - 3 5/8" TH. BRICK
- 6.2a 1/2" GYP. BD. - 2x4 WOOD FRAMING - 2x4 WOOD FRAMING - WOOD SHEATHING - WEATHER RESISTIVE BARRIER - BOARD & BATTEN SIDING
- 6.2b 1/2" GYP. BD. - 2x4 WOOD FRAMING - 2x4 WOOD FRAMING - WOOD SHEATHING - WEATHER RESISTIVE BARRIER - BOARD & BATTEN SIDING
- 6.2c 5/8" GYP. BD. - 2x4 WOOD FRAMING - 2x4 WOOD FRAMING - WOOD SHEATHING - WEATHER RESISTIVE BARRIER - BOARD & BATTEN SIDING
- 6.3a 1/2" GYP. BD. - 2x4 WOOD FRAMING. - 1/2" GYP. BD.
- 6.3b 5/8" GYP. BD. - 2x4 WOOD FRAMING. - 5/8" GYP. BD.



A2.3
Second Floor Plan
O'Neal Residence

11090 Thomas Creek Road
Reno, Nevada 89511
APN: 044-391-27
todd@copenhagenarchitect.com
775.342.9519

Admin. Review
1.7.21
TC TC

revision	schedule
desc.	date

1 Second Floor Plan
1/4" = 1'-0"

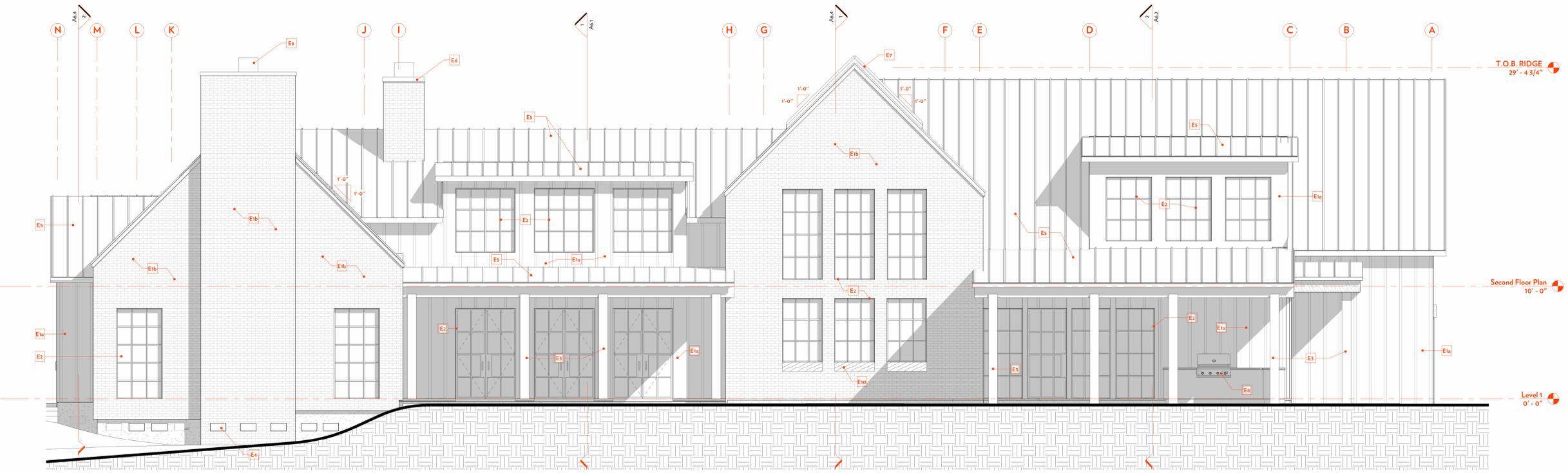


ELEVATION NOTES

- E1a BOARD & BATTEN SIDING
- E1b BRICK
- E2 STEEL FRAMED DOORS & WINDOWS
- E3 RECLAIMED WOOD COLUMNS - TYP
- E4 FLOOD VENT-155Q IN OPEN AREA
- E5 STANDING SEAM METAL ROOF
- E6 PRECAST CONCRETE CHIMNEY CROWN & FLUE CAP
- E7 SKYLIGHT
- E8 BLT. IN BRD W/ EXT. CABLS & HOOD
- E10 RECLAIMED WOOD SILLS & LINTELS - TYP.
- E11 HORIZ. RECLAIMED PLANK SIDING
- E12 RECLAIMED WOOD FACED, SOLID SECTIONAL GARAGE DOOR
- VERT. RECLAIMED PLANK SIDING

FLOOD VENT CALCULATIONS
 4910 OF ENCLOSED FOUNDATION FOOTPRINT
 VENT TYPE = FREEDOM FLOOD MODEL FFV-1608
 ENGINEERED OPENING ALLOWING FOR 300SF
 OF COVERED AREA USING 6.0 FEET/HOUR RISE & FALL
 VENT TO BE INSTALLED BELOW BASE FLOOD ELEVATION
 2910/250 = 20 VENTS REQUIRED.

2 Southwest Elevation
 1/4" = 1'-0"



1 Northwest Elevation
 1/4" = 1'-0"



A5.0
 Exterior Elevations

O'Neal Residence

11090 Thomas Creek Road
 Reno, Nevada 89511
 APN: 044-391-27

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 136 ridge street
 reno, nv 89501
 tel. 775.343.9919



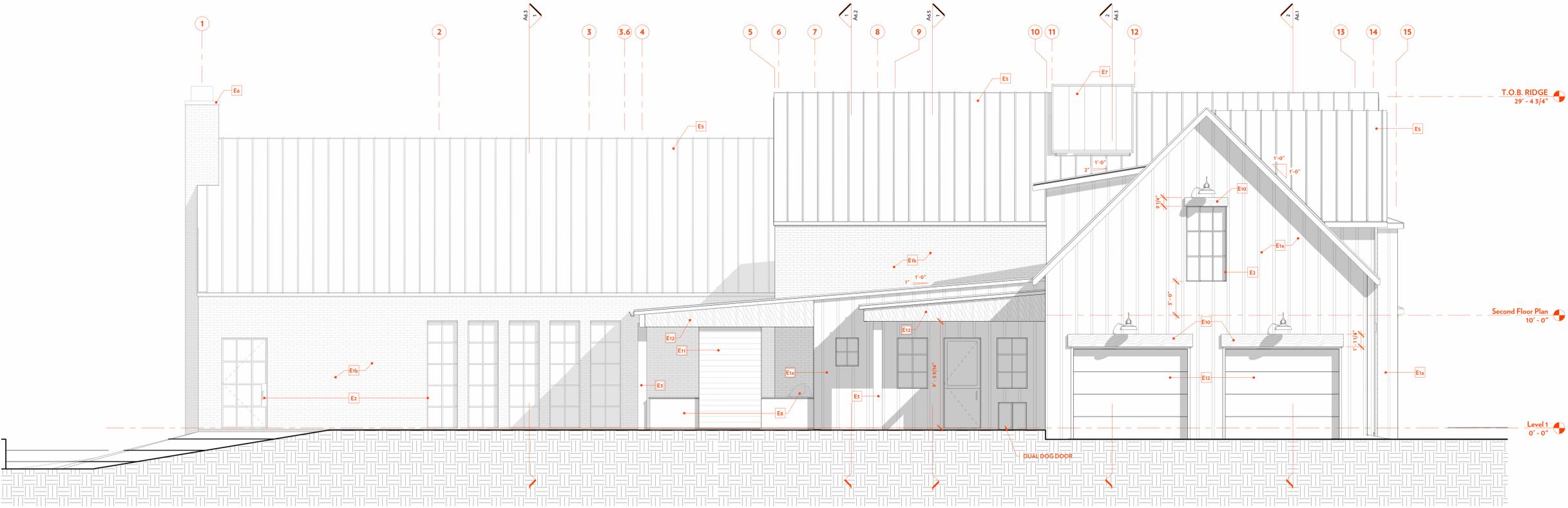
Admin. Review



ELEVATION NOTES

- E1a BOARD & BATTEN SIDING
- E1b BRICK
- E2 STEEL FRAMED DOORS & WINDOWS
- E3 RECLAIMED WOOD COLUMNS - TYP.
- E4 FLOOD VENT - 410G. IN. OPEN AREA
- E5 STANDING SEAM METAL ROOF
- E6 PRECAST CONCRETE CHIMNEY CROWN & FLUE CAP
- E7 SKYLIGHT
- E8 B.L.T. IN BRDG W/ EXT. CABS & HOOD
- E9 RECLAIMED WOOD SILLS & LINTELS - TYP.
- E10 HORIZ. RECLAIMED PLANK SIDING
- E11 RECLAIMED WOOD FACED, SOLID SECTIONAL GARAGE DOOR
- E12 VERT. RECLAIMED PLANK SIDING

2 Southeast Elevation
1/4" = 1'-0"



1 Northwest Elevation
1/4" = 1'-0"



A5.1
Exterior Elevations

O'Neal Residence

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