Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information	s	taff Assigned Case No.:	
Project Name: Jordan & Chelsea Dethmers			
Project Clearing Over-grown Drainage Channe Description: Grading for Retianing walls, New Drive		el, Re-Seeding Grass Blend at Pa way and Fenced Horse Arena	asture Area and
Project Address:0 Lone Tree			
Project Area (acres or square feet): 2.29 Acres, Disturb		bed -2.1 acres	
Project Location (with point of re	ference to major cross	streets AND area locator):	
Lone Tree Lane	/Bellhave	n Road	
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
041-120-11	2.29		
Indicate any previous Washo Case No.(s).	e County approval	s associated with this applicat	ion:
Applicant Info	ormation (attach	additional sheets if necess	ary)
Property Owner:		Professional Consultant:	
Name:Jordan & Chelsea Dethr	ners	Name:Westex Consulting Engineers, LLC	
Address:4145 Lone Tree Ln		Address:P.O Box 18871	
Reno, Nv	Zip: 89511	Reno, Nv	Zip:89511
Phone: 775-544-9918	Fax:	Phone: 775-771-9539	Fax:
Email:Jordandethmers7@Gmail.com		Email:Blake@Westexconsulting.com	
Cell:	Other:	Cell: 775-771-9539	Other:
Contact Person:Jordan Dethmers		Contact Person:Blake Carter P.E	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Jordan Dethmers		Name:	
Address:4145 Lone Tree Ln		Address:	
Reno, Nv	Zip: 89511		Zip:
Phone: 775-544-9918	Fax:	Phone:	Fax:
Email: Jordandethmers 7@gma	il.com	Email:	
Cell: 775-544-9918	Other:	Cell:	Other:
Contact Person:Jordan Dethm	ers	Contact Person:	
For Office U		Use Only	
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Special Use Permit Application for Grading

Supplemental Information
(All required information may be separately attached)

1.	What is the purpose of the grading?
	Make Land usable for personal use of Horses and Pasture and Access to parcel
2.	How many cubic yards of material are you proposing to excavate on site?
	1,800 CY
3.	How many square feet of surface of the property are you disturbing?
	2.1 Acres
4.	How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?
	Grading has been design to balance.
5.	Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)
	Property is to be used for personal use of Horses. Necessary area to be cleared exceeds threshold.
6.	Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)
	Yes, 2021 of clearing brush and grading.
7.	Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)
	YES

8.	Can the distroadways?	turbed area b	be seen from off-site? If yes, from which directions and which properties or
	YES, PRO	OPERTY IS	S ADJACENT TO LONE TREE LN
9.			rties also be served by the proposed access/grading requested (i.e. if you would it be used for access to additional neighboring properties)?
	NO, ONL	Y FOR EM	ERGENCY SERVICES SUCH AS FIREFIGHTING
10.			ntal/vertical) of the cut and fill areas proposed to be? What methods will be intil the revegetation is established?
	3:1, ROLI	_ED EROS	ION CONTROL PRODUCTS, WATER TRUCK ON SITE
11.	Are you plar	nning any ber	ms?
	YesYES	No	If yes, how tall is the berm at its highest?3 FT
12.	required?		and you are leveling a pad for a building, are retaining walls going to be gh will the walls be and what is their construction (i.e. rockery, concrete, ck)?
	NO BUILE	DING- YES	, RETAINING WALLS WILL BE 2FT-10FT BOULDER
13.	What are yo	ou proposing t	for visual mitigation of the work?
	CLE	AN A	ND ORDERLY SITE
14.	Will the grad	ding propose	d require removal of any trees? If so, what species, how many and of what

NO

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

Pasture grass and Native sage, as much as needed

How are you provid	ing temporary irriga	ation to the disturbed area?
--------------------------------------	----------------------	------------------------------

WATER TRUCK ON SITE		

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

NO	

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	No NO	If yes, please attach a copy.
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STATE OF NEVADA



Department of Conservation & Natural Resources

Steve Sisolak, Governor Bradley Crowell, Director Greg Lovato, Administrator

Date: 6/30/2021

Mr. Jordan Dethmers Jordan & Chelsea Dethmers 4145 LONE TREE LN Reno NV 89511

Dear Mr. Jordan Dethmers

Re: Stormwater Construction Permit Project ID Number: CSW--49345

Project Name: Dethmers

Your submittal to be included under this General Permit has been approved effective 6/25/2021. For Stormwater Permits, please note that by submitting an NOI the permittee has certified that the project's Storm Water Pollution Prevention Plan (SWPPP) has been completed, that the SWPPP will be updated as necessary, and that it will be maintained at the permitted site.

At the time of any on-site inspections, our inspectors will ask to review your copy of the SWPPP in an effort to ensure proper compliance with the program.

Also note that <u>Nevada Administrative Code (NAC) 445A.268</u> Section (5)(b) reads, in part, that a Permittee (discharger) who is covered under a general permit shall pay to the Director a nonrefundable fee of \$200.00 not later than July 1 of each year that the discharger is covered under that permit.

<u>To Terminate coverage</u> of this Nevada General Permit, the Permittee must submit a Notice of Termination ("NOT") form when their facility no longer has any discharges associated with this Nevada General Permit or EPA regulations at <u>40 CFR 122.26</u>, or when they are no longer the operator of the site.

Questions regarding Stormwater permits, please contact (775) 687-9442.

Questions regarding other general permits, please contact (775) 687-9492.

Sincerely,

Michelle Grover, Environmental Scientist

Bureau of Water Pollution Control Nevada Division of Environmental Protection

CC: Mr. Jordan Dethmers 4145 LONE TREE LN Reno NV 89511

NVR100000 STATE OF NEVADA

DIVISION OF ENVIRONMENTAL PROTECTION

GENERAL PERMIT

FOR

STORMWATER DISCHARGES ASSOCIATED WITH LARGE CONSTRUCTION ACTIVITY, SMALL CONSTRUCTION ACTIVITY AND INDUSTRIAL ACTIVITY FROM TEMPORARY CONCRETE, ASPHALT AND

MATERIAL PLANTS OR OPERATIONS DEDICATED TO THE PERMITTED CONSTRUCTION PROJECT

AUTHORIZATION TO DISCHARGE

In compliance with the provisions of the federal Water Pollution Control Act as amended (33 U.S.C. 1251 et seq: the "Act") and Chapter 445A of the Nevada Revised Statutes (NRS), eligible dischargers have submitted: 1) a Notice of Intent and filing fee in accordance with Nevada Administrative Code (NAC) 445A.268.

In accordance with the terms and conditions set forth hereof;

Site Number: CSW-49345

NOI Approval Date: 6/25/2021

NOI Re-Approval Date: N/A

Facility Information	
Site Name	Dethmers
Site Address	0 Lone Tree Ln, Reno, NV 89511
Owner Name	Jordan & Chelsea Dethmers
Operator Name	Jordan & Chelsea Dethmers

This permit shall become effective on: January 5, 2015.

This permit and the authorization to discharge shall expire at midnight January 4, 2020.

Signed this 5th day of January 2015.

Michele R. Reid, Staff II Associate Engineer

Bureau of Water Pollution Control

Property Owner Affidavit

Applicant Name: JORDAN & CHEISEA DEHIM	Eizs
The receipt of this application at the time of submittal does not guarantee the application requirements of the Washoe County Development Code, the Washoe County Matapplicable area plan, the applicable regulatory zoning, or that the application is deemed be processed.	aster Plan or the
STATE OF NEVADA)	
COUNTY OF WASHOE)	
1, JORDAN DELLIMEIZS	
(please print name)	
being duly sworn, depose and say that I am the owner* of the property or propertie application as listed below and that the foregoing statements and answers herein of information herewith submitted are in all respects complete, true, and correct to the best and belief. I understand that no assurance or guarantee can be given by members Building.	contained and the at of my knowledge
(A separate Affidavit must be provided by each property owner named in the	title report.)
Assessor Parcel Number(s): 041 - 120 - 11	
Printed Name	JEthme.25
Address O Lone	SEE LN
Subscribed and sworn to before me this day of October 1, 207) (Notary Stamp	n)
Notary Public in and for said county and state DAVI NOT WASH STATE My Commiss	D M. BULOCK ARY PUBLIC HOE COUNTY E OF NEVADA ion Expires: 05-14-23 te No: 19-2333-2
*Owner refers to the following: (Please mark appropriate box.)	
☑ Owner	
□ Corporate Officer/Partner (Provide copy of record document indicating authority	to sign.)
☐ Power of Attorney (Provide copy of Power of Attorney.)	- ,
 Owner Agent (Provide notarized letter from property owner giving legal authority 	y to agent.)
☐ Property Agent (Provide copy of record document indicating authority to sign.)	- /
☐ Letter from Government Agency with Stewardship	

Property Owner Affidavit

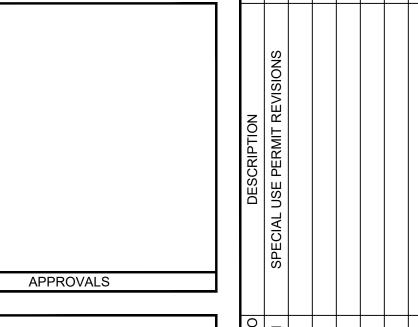
Applicant Name: JORNAN & CHEISEA DELLIMERS
The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.
STATE OF NEVADA) COUNTY OF WASHOE)
(please print name) being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete. The and correct to the heat of much and the
information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building. (A separate Affidavit must be provided by each property owner named in the title report.)
Assessor Parcel Number(s):
Printed Name Signed Mare REE LIN Address O Lone Tree Lin
Subscribed and sworn to before me this day of October, 2021. (Notary Stamp)
DAVID M. BULOCK NOTARY PUBLIC WASHOE COUNTY STATE OF NEVADA My Commission Expires: 05-14-23 Certificate No: 19-2333-2
*Owner refers to the following: (Please mark appropriate box.) Owner Corporate Officer/Partner (Provide copy of record document indicating authority to sign.) Power of Attorney (Provide copy of Power of Attorney.) Owner Agent (Provide notarized letter from property owner giving legal authority to agent.) Property Agent (Provide copy of record document indicating authority to sign.) Letter from Government Agency with Stewardship



GRADING IMPROVEMENT PLANS 0 LONE TREE LANE

FOR

JORDAN DETHMERS



REVISIONS

CIVIL Exp. 12/31/22

NO. 22331

APPROVALS

SHEET1 OF 4

PROJECT SUMMARY

WASHOE COUNTY, NEVADA JURISDICTION: COUNTY: WASHOE 041-120-11 LONE TREE LANE

> HIGH DENSITY RURAL - HDR ZONE X (32031C3229H, EFFECTIVE 06/18/2013)

FEMA FLOOD ZONE:

SUBJECT PL

— (P) MINOR CONTOUR

CLEARING OVER-GROWN DRAINAGE CHANNEL, RE-SEEDING GRASS BLEND AT PASTURE AREA, AND GRADING INCLUDING RETAINING WALLS, A NEW DRIVEWAY AND FENCED HORSE ARENA

PROJECT ACREAGE:

ZONING:

SHEET LIST

GENERAL T1 TITLE SHEET

C1 SITE AND GRADING PLAN

C2 EROSION AND SEDIMENT CONTROL PLAN

PROJECT AUTHORITY

CIVIL ENGINEER

WESTEX CONSULTING ENGINEERS, LLC

P.O. BOX 18871 **RENO, NV 89511**

(775) 771-9539 blake@westexconsulting.com SURVEYOR POINTS WEST SURVEY RICHARD ADAM BOROSKI 3365 SAN MATEO DRIVE

(702) 378-4124 radamboroski@yahoo.com

RENO, NV 89509

JORDAN DETHMERS 4145 LONE TREE LANE RENO, NV 89511

(775) 544-9918

jordandethmers7@gmail.com

VICINITY MAP

- THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES. AND ARE BELIEVED TO BE IN SUBSTANTIAL
- INTENT OF THE PLANS. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR BEARS SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL
- PERSONS AND PROPERTY. IF THE CONTRACTOR(S) OBSERVES ANY CONDITION ON THE SITE WHICH CONFLICTS WITH THE INFORMATION SHOWN HEREON, THEY SHALL CONTACT WESTEX
- CONSULTING ENGINEERS AT (775) 771-9539 FOR RESOLUTION. THE ENGINEER SHALL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER.
- IN THE EVENT ELECTRONIC FILES (CAD. ETC) ARE PROVIDED BY WESTEX CONSULTING ENGINEERS. AN INDEMNIFICATION AGREEMENT IS IMPLIED BY THAT USE. AND IF THERE IS ANY CONFLICT BETWEEN ELECTRONIC DATA AND THE STAMPED/PERMIT PLAN SET, THE STAMPED DRAWINGS SHALL GOVERN AND DIRECT THE WORK. IT IS THE SOLE RESPONSIBILITY OF THE CLIENT TO AQUIRE APPROVED PLANS FROM THE GOVERNING
- THE CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES EXISTING CONDITIONS, AND POINTS OF CONNECTIONS WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK
- CONTACT "USA NORTH 811" BY CALLING THAT NUMBER (8-1-1) NO LESS THAN 2 WORKING DAYS BEFORE EXCAVATION IS PROPOSED TO BEGIN.

EROSION AND SEDIMENT CONTROL NOTES:

- TOTAL DISTURBANCE AREA IS EXPECTED TO EXCEED 1 ACRE, THEREFORE A SITE-SPECIFIC STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS ANTICIPATED TO BE REQUIRED. THE CONTRACTOR SHALL BE AWARE OF AND EXERCISE DUE EFFORT TO CONFORM TO AT LEAST:
- A. THE STATE OF NEVADA GENERAL PERMIT NVR100000 THE "TRUCKEE MEADOWS HANDBOOK"
- WASHOE COUNTY STORMWATER PROTECTION ORDINANCES AND STANDARDS ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN WASHOE COUNTY AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.

TOPOGRAPHIC MAP NOTES:

THIS MAP IS PREPARED TO ILLUSTRATE TOPOGRAPHY AND FEATURES FOR ARCHITECTURAL AND ENGINEERING PLANNING AND DESIGN ONLY: NO INFORMATION SHALL BE CONSTRUED TO REPRESENT A FORMAL SURVEY OF THE SUBJECT PROPERTY, OR TO RENDER ANY OPINION THEREON.

BASIS OF BEARINGS AND ELEVATION: NV83-WF.

PROJECT NOTES:

- ALL CONSTRUCTION NOT OTHERWISE DETAILED OR SPECIFIED SHALL CONFORM TO
- REFER TO CIVIL IMPROVEMENT PLANS FOR ADDITIONAL INFORMATION ON SITE UTILITY, GRADING AND DRAINAGE, AND EROSION AND SEDIMENT CONTROL.

NOTES

- WORK PERFORMED UNDER THE CONTRACT SHALL RESULT IN A COMPLETE OPERATING SYSTEM IN SATISFACTORY WORKING CONDITION WITH RESPECT TO THE FUNCTIONAL PURPOSES OF THE INSTALLATION. IF THERE ARE ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF THESE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR RESOLUTION.
- SUBMITTALS, INCLUDING SHOP DRAWINGS, MANUFACTURER'S DATA SHEETS, (ROOFING, ETC.), WITHOUT EXCEPTION, SHALL BE OFFERED FOR REVIEW AND APPROVAL TO OWNER PRIOR TO THEIR INCORPORATION INTO THE PROJECT. WHERE QUANTITATIVE JUDGEMENT IS REQUIRED (E.G. MATERIALS WITH SPECIFIED STRENGTH, 6. WEIGHT, LONGEVITY, CLASSIFICATION, ETC.) THESE MATERIALS' SPECIFICATIONS SHALL BE PROVIDED TO THE PROFESSIONAL AUTHORITY (E.G. PLUMBING, CIVIL
- ENGINEER, ETC.) RESPONSIBLE FOR THEIR SUITABILITY FOR THE SPECIFIED USE THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAILY REMOVAL OF ALL CONSTRUCTION MATERIALS SPILLED ON PAVED STREETS, ONSITE AND OFFSITE. THE CONTRACTOR SHALL PURSUE THE WORK IN A CONTINUOUS AND DILIGENT MANNER CONFORMING TO ALL THE PERTINENT SAFETY REGULATIONS. TO ENSURE A
- TIMELY COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY ALL ENTITIES INVOLVED (PUBLIC AND PRIVATE) 48 8. HOURS PRIOR TO BEGINNING CONSTRUCTION, AND PROVIDE 48 HOURS PRIOR NOTICE
- FOR ALL SURVEYING AND INSPECTIONS DURING CONSTRUCTION. THE WORK IN THIS CONTRACT INCLUDES ALL ONSITE AND OFFSITE WORK SHOWN ON
- THESE DRAWINGS, DESCRIBED IN THE SPECIFICATIONS, OR REASONABLY IMPLIED. 10. THE CONTRACTOR SHALL, AT ALL TIMES DURING CONSTRUCTION, PROTECT FROM DAMAGE EXISTING IMPROVEMENTS ON AND AROUND THE SITE, INCLUDING, BUT NOT LIMITED TO, PAVEMENT, CURB & GUTTER, SIDEWALK, LANDSCAPING, SIGNAGE, STORM & SANITARY SEWERS, AND ALL UTILITIES. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE REPAIR OF ANY IMPROVEMENTS (EXISTING OR PROPOSED) DAMAGED THROUGHOUT THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES EMERGENCY ACCESS TO THE PROJECT SITE TO THE SATISFACTION OF THE FIRE CONTROL $\,$ AGENCY. ALL QUANTITIES SUPPLIED WITH THESE PLANS ARE APPROXIMATE AND USED FOR
- PERMIT AND BOND PURPOSES ONLY. THEY SHALL NOT BE USED IN ANY WAY FOR BIDDING OR CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT QUANTITY TAKE-OFFS FOR BIDDING AND CONSTRUCTION PURPOSES.

- ALL EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH THE CITY OF **RENO AND WASHOE COUNTY STANDARDS.**
- THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM TO INCLUDE WATERING OF OPEN AREAS AND MAINTAIN CONFORMITY WITH SECTION 40.030 OF WASHOE COUNTY AIR POLLUTION PROVISIONS
- CONTRACTOR SHALL CAREFULLY INSPECT DETAILS, THE CONTEXT OF PLANS, AND MAKE APPROPRIATE CONFIRMING MEASUREMENTS AGAINST EXISTING CONDITIONS PRIOR TO SETTING SUBGRADE, AND SHALL COORDINATE WITH SURVEYOR TO SET ELEVATION AND LOCATION CONTROL PROPERLY TO ESTABLISH SUBGRADE PRIOR TO
- FINAL SURFACE TREATMENTS. ALL NATURAL VEGETATION OUTSIDE OF DISTURBANCE LIMITS TO BE PRESERVED ADDITIONAL DISTURBANCE NOT PART OF PLANNED LANDSCAPING SHALL BE STABILIZED, BROADCAST AND RAKED DURING OCTOBER-NOVEMBER, OR HYDROSEEDED IN COORDINATION WITH, AND SUBJECT TO APPROVAL BY PROPERTY
 - USE EXTREME CARE WHEN WORKING AROUND EXISTING UTILITIES AND EXISTING
- THE CONTRACTOR SHALL NOTIFY OWNER AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK AND ONLY AFTER A PRE-CONSTRUCTION MEETING BETWEEN OWNER, ENGINEER OF RECORD, MATERIALS TESTING LABORATORY, AND
- GENERAL CONTRACTOR HAS OCCURRED THE INSPECTION AND TESTING OF SOILS AND ALL OTHER MATERIALS SHALL BE IN CONFORMANCE WITH WASHOE COUNTY ORANGE BOOK STANDARDS AND SITE SPECIFIC SOILS REPORT AS APPLICABLE. THIRD PARTY TESTING AGENCY SHALL BE NOTIFIED 24 HOURS PRIOR TO REQUIRED TESTING. ALSO, ON-LINE INSPECTION
- REQUEST TO SPWD TO BE SUBMITTED 24 HOURS PRIOR TO ALL INSPECTIONS. SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION DEPARTMENT SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE DETERMINED BY CONSULTATION WITH THE APPROPRIATE JURISDICTION.

EARTHWORK SUMMARY:

2.1 ACRES 1,800 CY 1,800 CY 0 CY (IMPORT)

- CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROL PLANS, AND TRAFFIC CONTROL SUPERVISOR'S PROOF OF CERTIFICATION. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PARCELS, AND PROVIDE ALL TEMPORARY AND/OR PERMANENT PATCHING AS REQUIRED BY GOVERNING AGENCY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE MINIMUM REQUIREMENTS OF TRAFFIC CONTROL ARE MET DURING CONSTRUCTION AND INSTALLATION OF APPURTENANCES IN THE RIGHT-OF-WAY.

LEGEND

(E) RETAINING WALL (E) AC (E) PCC (P) PCC (E) STRUCTURE

ASPHALT CONCRETE ASSESSOR'S PARCEL NO. BSW/BOW BACK OF WALK

CORRUGATED METAL PIPE COTG CLEAN OUT TO GRADE **CENTER LINE** CUBIC YARDS **EXISTING EXISTING GRADE** FIRE DEPT. CONNECTION FRONT FACE OF CURB FINISH FLOOR ELEVATION

FINISH GRADE

FIRE HYDRANT

HIGH DENSITY POLYETHYLENE INVERT ELEVATION LINEAR FEET MAXIMUM DRY DENSITY MDD NDOT OHE OVERHEAD ELECTRICAL PROPOSED POC POINT OF CONNECTION PUE PUBLIC UTILITY EASEMENT PVC POLYVINYL CHLORIDE RIGHT-OF-WAY

FLOW LINE

ABBREVIATIONS

TYP **TYPICAL** YARD HYDRANT

STD. DIMENSION RATIO

STORM DRAIN

SQUARE FEET

PORTLAND CEMENT CONCRETE PRESSURE INDICATOR VALVE

ADJACENT PL (P) RETAINING WALL SETBACK ---- SS ---- (E) SANITARY SEWER **EASEMENT** —— SS —— SS —— (P) SANITARY SEWER \longrightarrow \longrightarrow (P) FLOW LINE (E) ROAD CL —— SD —— SD —— (E) STORM DRAIN (P) ROAD CL —— SD —— SD —— (P) STORM DRAIN (E) MAJOR CONTOUR — W — W — (E) WATER LINE (E) MINOR CONTOUR (P) MAJOR CONTOUR

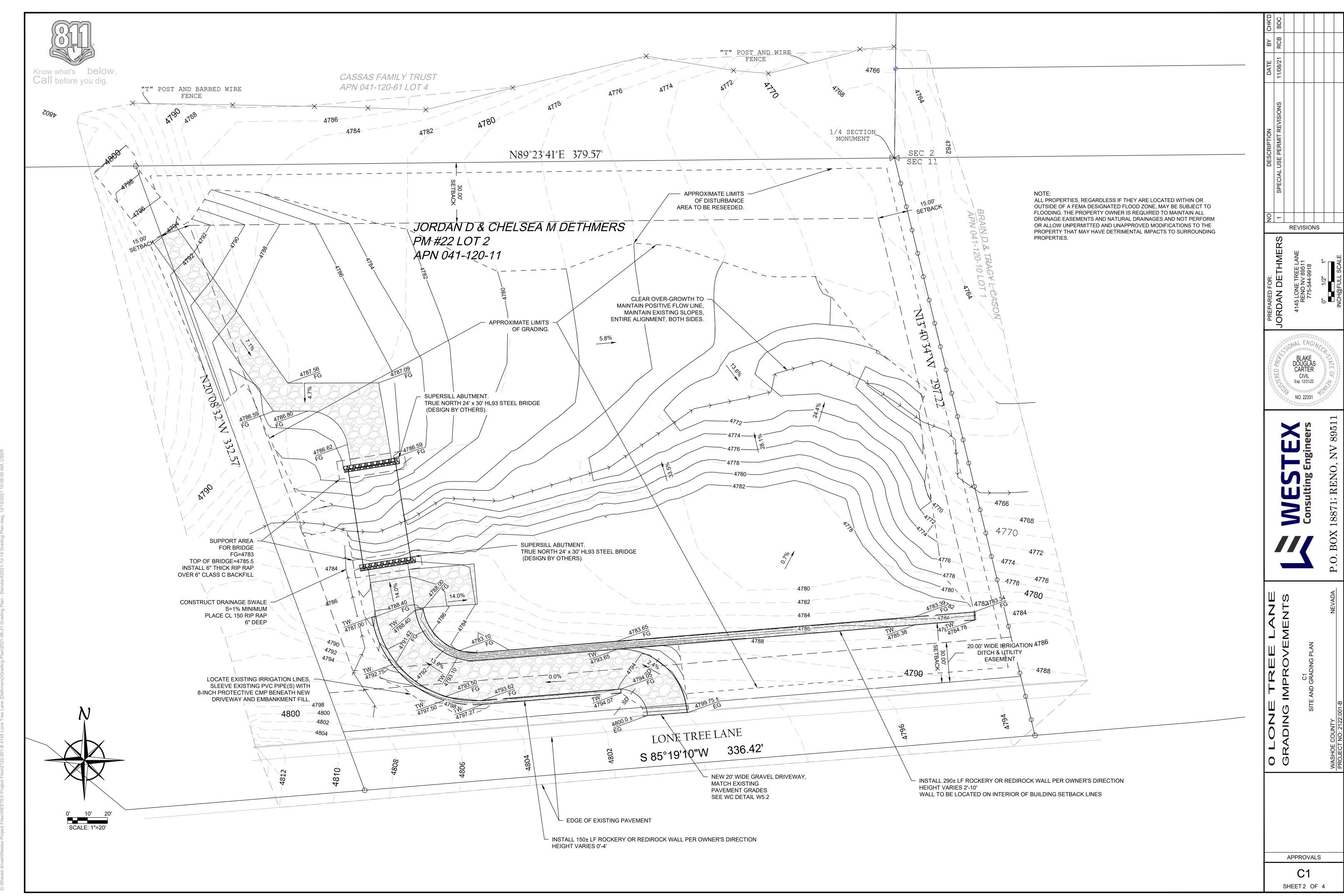
PROJECT LOCATION:

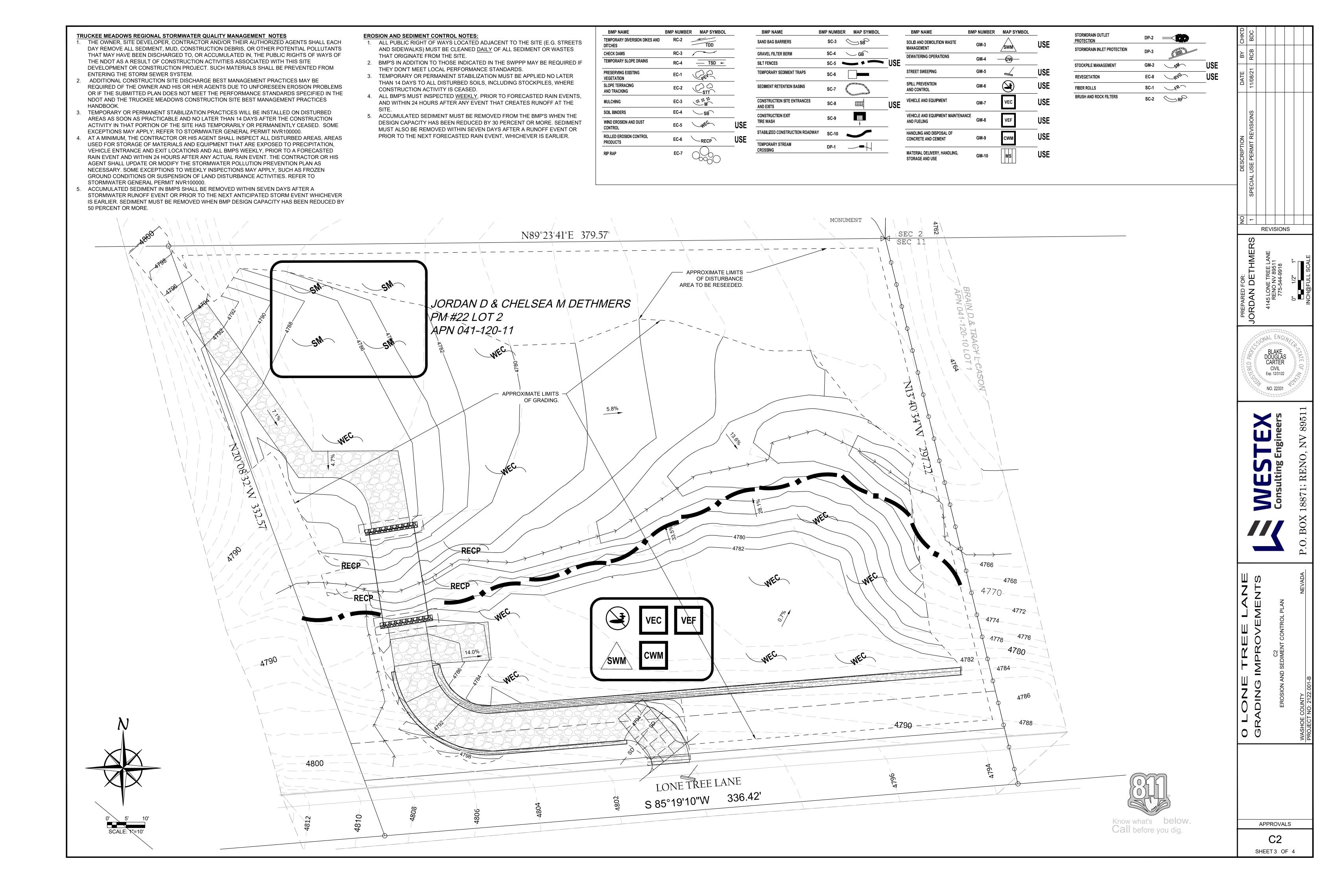
______ (E) FENCE

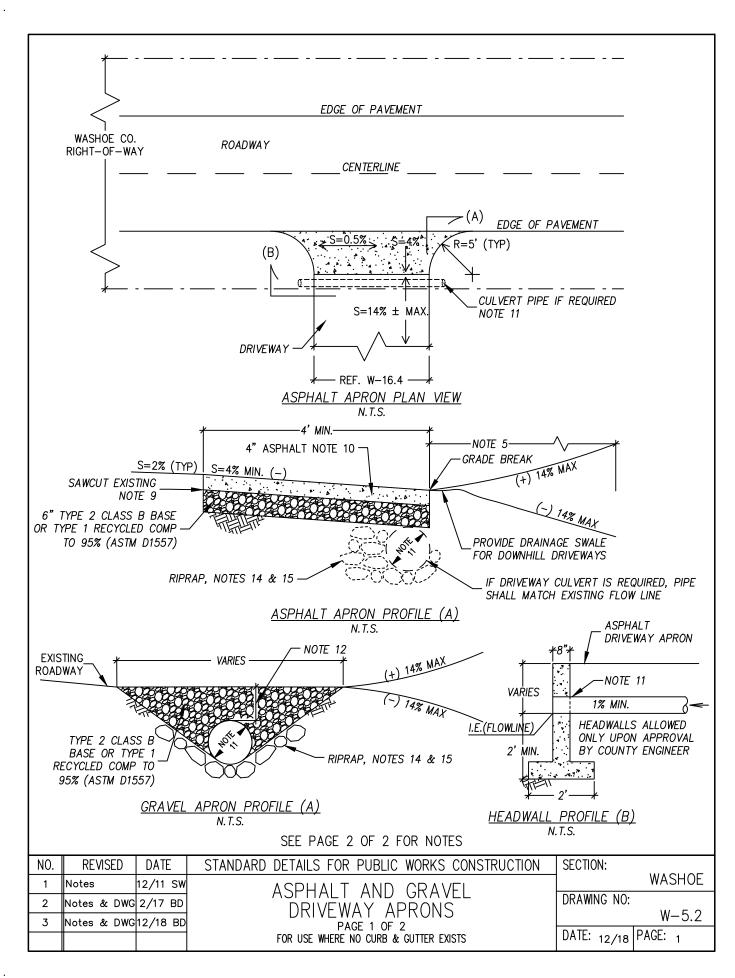
— G — G — (P) GAS LINE

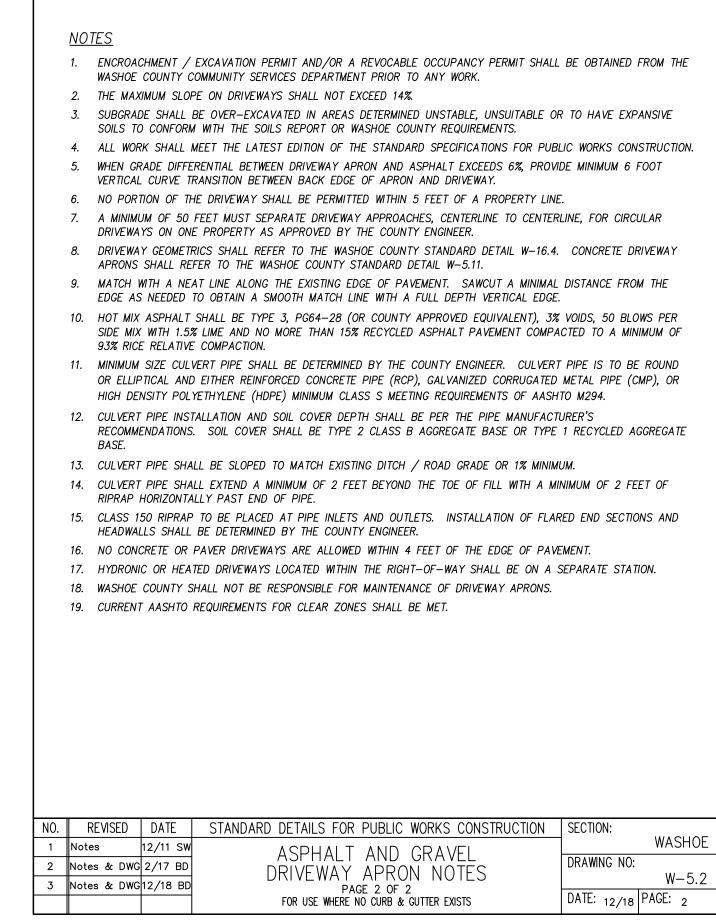
SANITARY SEWER TOP OF CURB NV DEPT. OF TRANSPORTATION TOP OF WALL UNLESS NOTED OTHERWISE

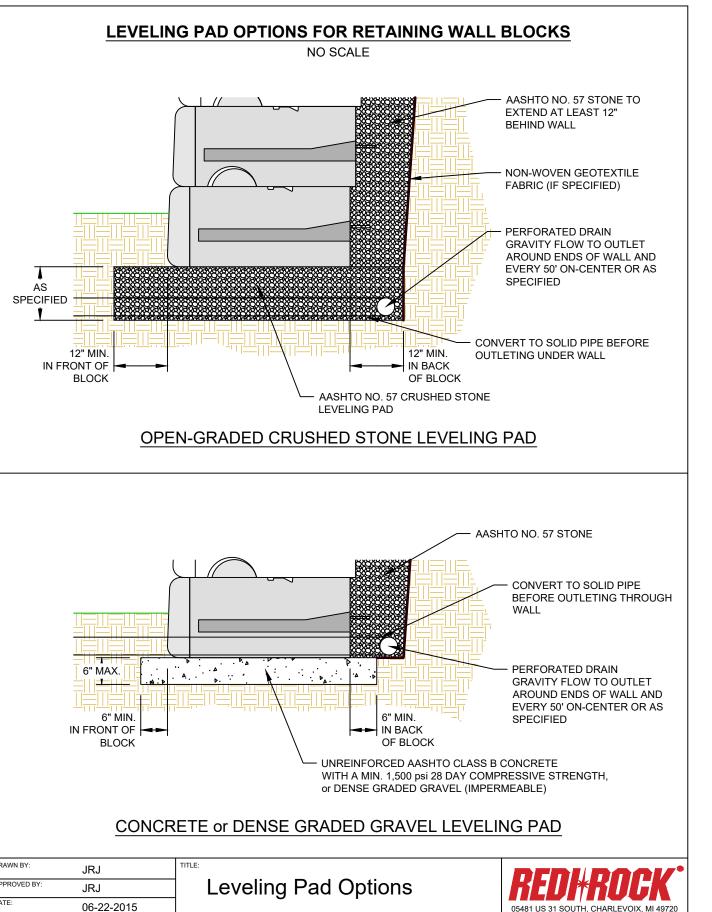
SDR





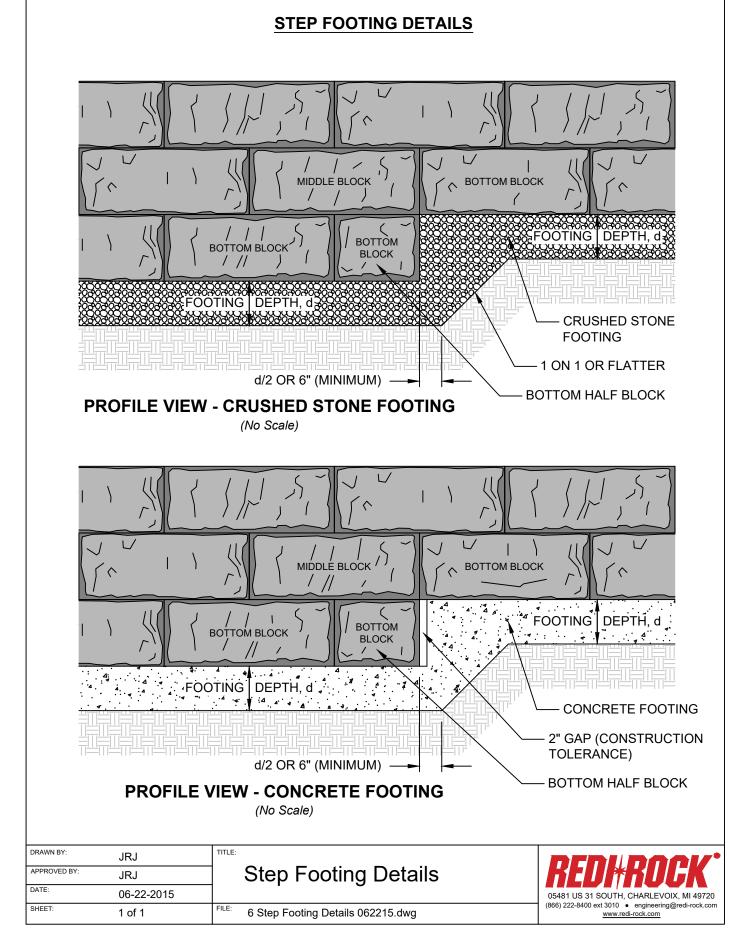


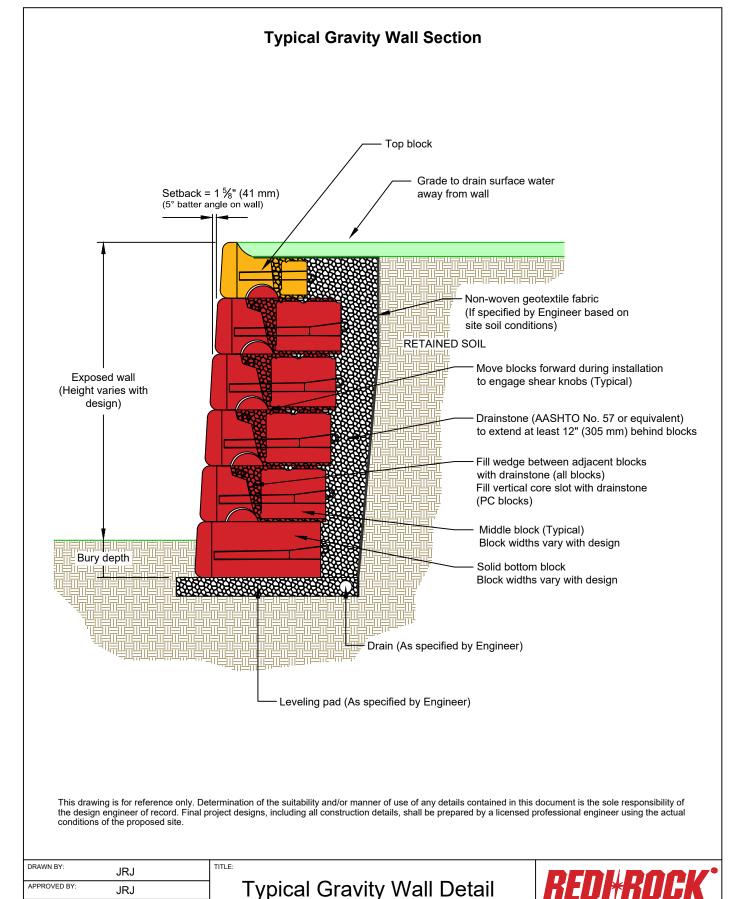




3 Leveling Pad Options 062215.dwg

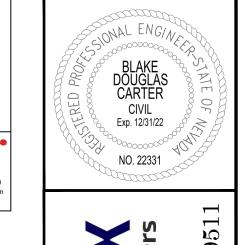
366) 222-8400 ext 3010 ● engineering@redi-rock.c <u>www.redi-rock.com</u>





1 Typical Gravity Wall Detail 031716.dwg

17MAR2016



866) 222-8400 ext 3010 • engineering@redi-rock.co

REVISIONS



GRADING IMPROVEMENTS

C3
DETAIL SHEET

WASHOF COUNTY

DETAIL SHEET

Know what's below.

Call before you dig.

APPROVALS

C3
SHEET 4 OF 4